



# Giaimo

## CONSERVATION PLAN

### **Gould Estate**

62 Mill Street  
Uxbridge, ON L9P 1H9

Date: 29 June 2021

Prepared for:  
Mosaik (Uxbridge) Inc.  
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# EXECUTIVE SUMMARY

This Conservation Plan has been prepared for the rehabilitation of a 325m<sup>2</sup> brick dwelling that is part of the designated heritage property known as the Gould Estate, located at 62 Mill Street, Uxbridge, Ontario. The property contains the aforementioned brick dwelling, an unused drive shed, and two smaller sheds. The heritage dwelling is in its original position on the remnant part of Joseph Gould's ownership of Lot 29, Concession VI, Township of Uxbridge.

The façade of the c.1866 brick dwelling will largely be retained as will virtually all of the interior woodwork. The dwelling will be integrated into a new proposed residential development with 23 new detached units on the site of the existing heritage resource at 62 Mill Street.

This report follows a Heritage Impact Assessment (HIA), issued on May 4, 2015 by Jane Burgess, and most recently revised in August 2015. In its decision on October 17, 2016, the Ontario Municipal Board approved the application to amend the Township of Uxbridge Zoning By-law No. 81-19, and the site plan was approved in principle.

The proposed conservation strategy will relocate the brick dwelling from its present location to the northeastern portion of the site where it will be visible from Mill Street. Rehabilitation efforts will be directed towards the masonry, windows, the front entrance, the porch and the foundation. At the interior, the woodwork of the doors, windows, paneling, staircase, trim and mouldings will be restored. The non-contributing washroom addition at the southeast corner will be removed as well as the driveshed and smaller sheds located on the property.

# 1 - INTRODUCTION

Gaiimo Architects has been retained by Mosaik (Uxbridge) Inc. as heritage consultant to prepare this Conservation Plan for the rehabilitation of the Gould Estate at 62 Mill Street, Uxbridge. This conservation approach has been developed with reference to the Parks Canada Standards and Guidelines for the Conservation of Historic Places and the Ministry of Culture's Ontario Heritage Tool Kit Procedures.

Gaiimo Architects is led by Joey Gaiimo, an architect and Canadian Association of Heritage Professionals member.

The purpose of this Conservation Plan is to ascertain the scope of work required to conserve the heritage value and attributes identified in the property's Part IV designation by-law (no. 2010-171). This Conservation Plan includes a description of the conservation work and preparation of drawings to show the extent and location of this work. This report should be read in conjunction with the HIA originally issued on May 4, 2015 and revised in August 2015.

The proposed development involves rehabilitation of the heritage dwelling by retaining the exterior in its entirety. This is the area of the building that contains the substantial portion of heritage attributes identified under the designation by-law.

## 1.1 SITE LOCATION & DESCRIPTION

The subject dwelling sits on a 1.5 ha parcel located on the south side of Mill Street, opposite Pond Street, and immediately north of Elgin Park. The front third of the property is sloped towards Mill Street while the rear two-thirds slopes towards the rear lot line. The property contains the subject 325m<sup>2</sup> dwelling, an unused drive shed and two smaller sheds.

The dwelling is located approximately midway on the site and is approached by a long driveway extending south from Mill Street. The drive shed is located at the back of the dwelling, oriented north to south. There is also a small washroom addition on the west side of the house that has no heritage attribute.





Figure. 1.2. Location of site within Uxbridge  
Google Maps



Figure. 1.1. Topographic survey of site with  
existing structures highlighted  
Schaeffer Dzaldov Bennet Ltd.; June 25, 2019

## 1.2 HERITAGE RECOGNITION

The following are the Description of Heritage Attributes that “embody the heritage value of the Isaac Gould House” as stated in the Reasons for Designation in By-Law Number 2010-171 (found in Appendix A);

- T-shaped plan;
- Randomly coursed granite fieldstone foundation;
- One and a half storey, moderately pitched cross gabled form;
- Original wooden soffits, kingpost, and frieze board trim;
- Solid masonry walls made of local clay brick including decorative arches and quoining;
- 3 bay front façade, with central dormer and original second storey wooden Gothic arched door that opens to the roof of the front porch;
- Early 19<sup>th</sup> century classical front porch with simple wooden Doric columns;
- Original front entrance with solid wooden paneled door, semi elliptical transom and sidelights;
- Original six over six, wooden, single hung, windows;
- Rear, one storey board and batten woodshed

Heritage Attributes that embody the heritage value of site and setting include:

- The orientation of the house set above and facing towards Mill St.;
- The Mill St frontage;
- The organization of outbuildings behind or to the side of the main house;
- The view corridor to and from Mill St;
- The transition of house to street through front lawn and then park like specie tree planting;
- A predominately landscaped setting;

- The drive shed

## 1.3 HISTORIC OVERVIEW

The property that is subject of this Conservation Plan originally belonged to Joseph Gould, the son of Jonathan and Rachel (née Lee) Gould, who were pioneer settlers that established the Gould family in Upper Canada (Ontario). They emigrated from Germantown, Pennsylvania, to Uxbridge Township in 1805 and had their son Joseph in 1808. As he matured, Joseph became a lumberjack, joiner and carpenter, and in 1837, he purchased the property. He was married in 1837, and he and his wife had a son, Isaac James Gould.

In 1863, the year after Isaac married Rebecca Chapman of Uxbridge, Joseph deeded the Mill Street property to his son and moved his own family and staff to his newly built villa on Toronto Street,

Uxbridge. Three years later, Joseph built a solid brick, one and one-half storey Gothic Revival “Ontario cottage” on the same Mill Street property for Isaac and Rebecca, and the family would live there until at least 1886. The house remained in the Gould family ownership until 1966.

The brick dwelling at 62 Mill Street is a fine example of a variation of a vernacular Gothic Revival style known colloquially as an “Ontario Cottage.” This style was promoted in the “Canadian Farmer” in the 1860s, where plans, elevations and directions for building small Gothic cottages were often featured. It was also popular in Ontario during the mid-to-late nineteenth century because tax laws were based on stories in a house, and a one and one-half storey cottage with a pointed Gothic Revival window under the central gable allowed for two levels at a cheaper tax rate.

Early photographs indicate that the house originally contained a Picturesque verandah that extended the entire width of the north elevation.

Today, the dwelling remains largely as built, only the verandah having been replaced. It would also appear that the windows are original – excluding the shutters – as are the front entranceway, the central stairs, the four panel interior doors and the paneled window reveals.

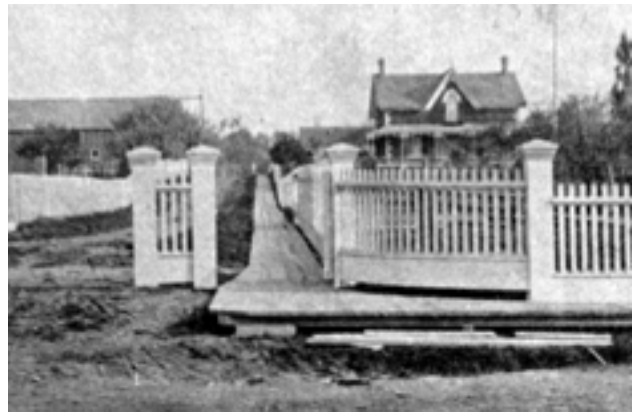


Figure. 1.3. Archival photo of 62 Mill St.

From *Uxbridge Historic Homes*, 2005, p. 70; image c. 1875



Figure. 1.4. Photo of 62 Mill St.

From *Uxbridge Historic Homes*, 2005, p. 69; image date unknown





Figure. 1.5. House existing north facade



Figure. 1.6. House existing east facade





Figure. 1.7. House existing south facade



Figure. 1.8. House existing west facade





Figure. 1.9. Driveshed existing north facade



Figure. 1.10. Driveshed existing east facade





Figure. 1.11. Driveshed existing south facade



Figure. 1.12. Driveshed existing west facade



# 2 - BUILDING CONDITION ASSESSMENT

## METHODOLOGY

This report is based on a site visit to review and evaluate the building condition. The observations are based on a visual review of the building; no destructive testing was undertaken. The exterior review was conducted from grade and accessible areas. The interior review was visual and conducted in accessible spaces and rooms.

Our observations and recommendations are based on physical conditions that were visually accessible from grade and accessible area. Some existing conditions might not have been observed. The building components were graded using the following assessment system;

**Good:** The assembly or component is mainly intact and is at minor risk of damage or deterioration due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)

**Fair:** The assembly or component is compromised and is at risk of damage or deterioration due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)

**Poor:** The assembly or component is lost or at considerable risk of loss due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)

This report is structured as follows; division into two sections focusing on the exterior and the interior of the building. Each section is further categorized based on specific building components with observations. Included in the report are photographs to assist in identifying general and specific location areas where observations have been made.

All photos are by Giaimo Architects unless noted.

## 2.1 EXTERIOR CONDITIONS

### 2.1.1 MASONRY

#### GENERAL OBSERVATIONS

- The brick is generally original and is in fair condition;
- There are loose and open mortar joints in many areas;
- The original mortar is a lime mixture, however, the existing mortar joints are mostly from previous incompatible repairs;
- There are spalled, chipped and cracked bricks in many areas;
- There is incompatible and redundant sealant in many areas;
- There are partially or fully missing bricks in some locations;
- There is staining and environmental soiling in some areas;
- There are residual fasteners and penetrations, mainly on the south facade;
- The brick is generally in poor condition at the building corners, especially the lower areas;
- The quoining is in poor condition and does not appear to be original;
- Original fieldstone foundations are in good condition;
- Chimney brick is generally in good condition but is not original or compatible.

#### 2.1.1.1 SOUTH FAÇADE OBSERVATIONS

- There is heavy staining and soiling;
- There are extraneous items affixed to the facade;
- The brick is in poor condition in the lower south-west corner, there are missing bricks and loose mortar joints;
- There is a visible crack and missing bricks above the door.

#### 2.1.1.2 WEST FAÇADE OBSERVATIONS

- The brick is original and generally in good condition;
- There are signs of environmental soiling and staining in some areas;
- There are partially missing bricks in some locations.

#### 2.1.1.3 NORTH FAÇADE OBSERVATIONS

- The brick is original and generally in good condition;
- There are a few missing bricks at the porch column bases;
- There is staining and environmental soiling in some locations;
- The original fieldstone foundation is in good condition;
- The original brick is in poor condition where the second floor deck connects to the building.

#### 2.1.1.4 EAST FAÇADE OBSERVATIONS

- East facade masonry is generally in fair condition;
- There are signs of staining and environmental soiling, especially in locations where drainage pipes were removed;
- There are patches of incompatible brick from later repairs;
- There is a visible crack that extends above the window up to the roof, at inner south east corner.

## 2.1.2 WINDOWS, DOORS AND WOODWORK

### GENERAL OBSERVATIONS

- Original wood fascia and soffits are deteriorated in some locations;
- Original wood soffits and fascia at the porch show signs of deterioration;
- Shutters are in good condition but are not original

## 2.1.3 FRONT PORCH AND DORIC COLUMNS

### GENERAL OBSERVATIONS

- Porch railing, deck and skirting are deteriorated and in poor condition in some areas;
- Porch stairs are deteriorated;
- Wooden column bases are deteriorated;
- Second floor deck railing is partially missing and deteriorated;
- Original Doric wooden columns are in fair condition.

## 2.1.4 WINDOWS AND DOORS

### GENERAL OBSERVATIONS

- Original wooden windows are deteriorated in some locations;
- Sealant at window frames is deteriorated;
- Wooden sills are original. Those at ground floor level are generally in poor condition. Sills at upper level seem to be in fair condition;
- Original front entrance wooden door and transom are in fair condition. Sealant is deteriorated.



Figure. 2.1. Loose and open mortar joints



Figure. 2.2. Loose and open mortar joints



Figure. 2.3. Cracked brick





Figure. 2.4. Incompatible mortar



Figure. 2.7. Partially missing bricks and incompatible sealant



Figure. 2.5. Open mortar joints & spalled brick



Figure. 2.8. Staining & soiling



Figure. 2.6. Incompatible mortar & cracked brick



Figure. 2.9. Residual fasteners & penetrations, chipped bricks at the corner





Figure. 2.10. Southwest corner brick in poor condition



Figure. 2.14. Southeast corner: brick in poor condition



Figure. 2.11. Southwest quoining in poor condition



Figure. 2.15. Non-original quoining is in poor condition



Figure. 2.12. Southeast corner brick & mortar in fair condition; missing brick



Figure. 2.13. South facade





Figure. 2.16. South Facade: Staining & tar from a previously removed shed addition



Figure. 2.17. Lower part of southwest corner in poor condition



Figure. 2.18. South Facade: Open mortar joints at corner



Figure. 2.19. South Facade : Missing bricks & cracks at soldier course above door



Figure. 2.20. West facade: Facade soiling & missing brick at soldier course



Figure. 2.21. West facade: Soiled & stained brick



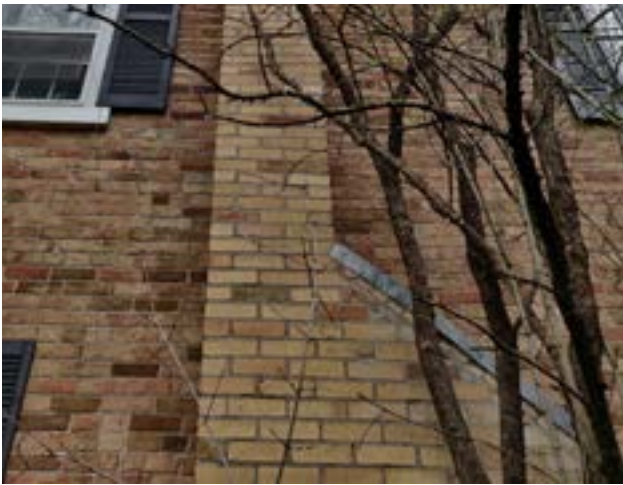


Figure. 2.24. West facade: Existing non-original chimney



Figure. 2.22. North facade: Stone foundation in good condition



Figure. 2.25. North facade: Missing bricks



Figure. 2.23. North facade: Stone foundation in good condition



Figure. 2.26. North facade: Staining & environmental soiling

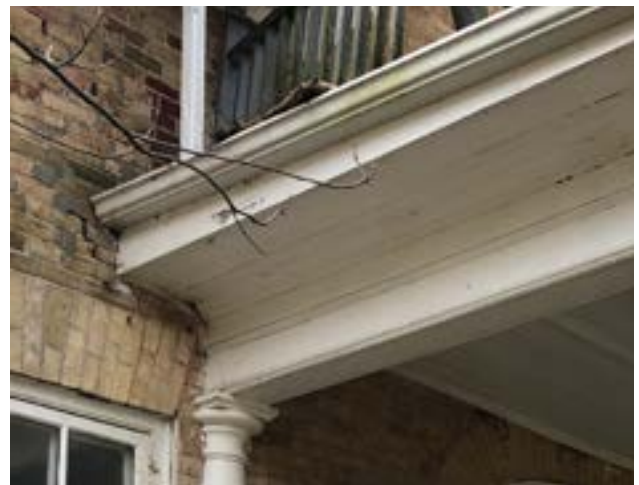


Figure. 2.27. North facade: Brick in poor condition where porch connects to the building, with partially missing bricks and signs of cracks





Figure. 2.28. East facade: Brick in generally good condition



Figure. 2.29. East facade: Incompatible brick from previous repairs



Figure. 2.30. Inner south east corner: brick in poor condition with signs of cracks and open mortar joints



Figure. 2.31. Deteriorated original soffits and fascia



Figure. 2.34. Deteriorated original soffits and fascia



Figure. 2.32. Deteriorated original soffits and fascia



Figure. 2.33. Deteriorated original soffits and fascia



Figure. 2.35. Deteriorated porch railing, deck & skirting





Figure. 2.36. Deteriorated original column bases at front porch



Figure. 2.39. Original lower sills in poor condition



Figure. 2.37. Deteriorated front porch stairs



Figure. 2.40. Original lower sills in poor condition



Figure. 2.38. Partially deteriorated original wooden windows with non-original shutters



Figure. 2.41. Original front entrance in good condition

## 2.2 INTERIOR CONDITIONS

### GENERAL OBSERVATIONS

- Wainscoting, baseboards, paneled window reveals and sills appear to be original and are generally in good condition.
- Main stairs and handrails appear to be original and are in good condition.
- Wood floors appear to be original and are in good condition.

## 3 - PROPOSED CONSERVATION SCOPE

### 3.1 CONSERVATION APPROACH

The proposed conservation approach for the dwelling is preservation and rehabilitation, where in most of the heritage attributes of the property identified in the designation by-law will be conserved. A list of conservation notes have been prepared to describe the extent of conservation work. Refer to 3.2 Exterior Recommendations and 3.3 Interior Recommendations.

The driveshed, an auxillary structure and heritage attribute, is to be disassembled. The wood is to be salvaged, and potentially reused in cladding the utility building, and the commemoration installation described in 3.1.2. Heritage Commemoration.

#### 3.1.1 HERITAGE RELOCATION

The heritage house is to be relocated and positioned on new foundations. The new location for the house is shown in the site plan prepared by Counterpoint Engineering, dated June 2021, shown in Appendix C.

Severance of the house from the existing foundations is to occur at the top of the building foundations. The relocation process is to be undertaken by an engineer and contractor experienced and specialized in this process. Details regarding the relocation can be found in Appendix D. The qualifications of the proposed relocation contractor and structural engineer can be found in Appendix B.

The new foundation is to be designed by an engineer specialized in this process. An appropriate veneer will be installed on the new foundation walls.

Rehabilitation:

The action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration:

The action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Preservation:

The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Source: *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

### 3.1.2 HERITAGE COMMEMORATION

The purpose of the Heritage Commemoration Plan is to commemorate the site’s history and cultural heritage value to future residents and visitors. The approach is to incorporate a Town of Uxbridge Heritage Pride Plaque on the site for the public.

In addition to the plaque, a commemoration installation is proposed to better connect the heritage house to Mill St. and the Historic Rotary Trail. An engaging installation will be created at the entrance to the lot from Mill St and will incorporate a mixture of wood and metal panels as shown in the proposed plan and elevation in this section. The wood panels will be salvaged exterior boards from the to-be demolished driveshed. The metal panels will be laser engraved with information about the Gould family’s influence, Uxbridge’s origins, and the natural landscape.

The following drawings are reflective of a schematic concept; details to follow. Design development will include further planting, which is to be coordinated with a landscape designer. The utility building will be clad in salvaged wood from the drive shed.

As-built drawings of the heritage house and driveshed can be found in Appendix C.

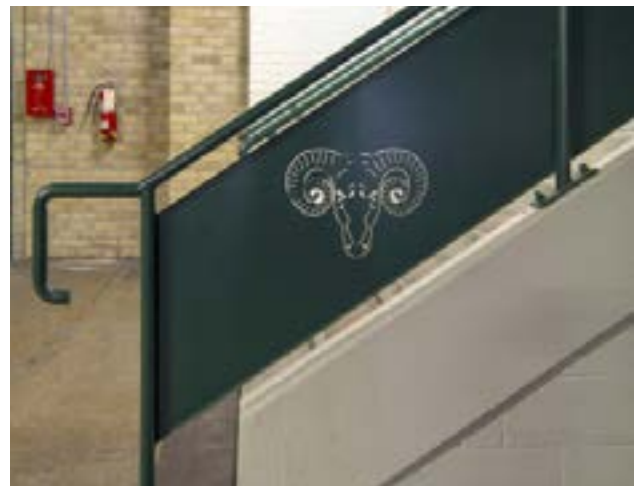


Figure. 3.1. Precedent image of commemoration metal panel. Joey Giaimo with ERA Architects.



Figure. 3.2. Precedent image of laser cut metal panels



Figure. 3.3. Precedent image of commemoration metal panel



Figure. 3.4. Typical condition of wood at existing driveshed



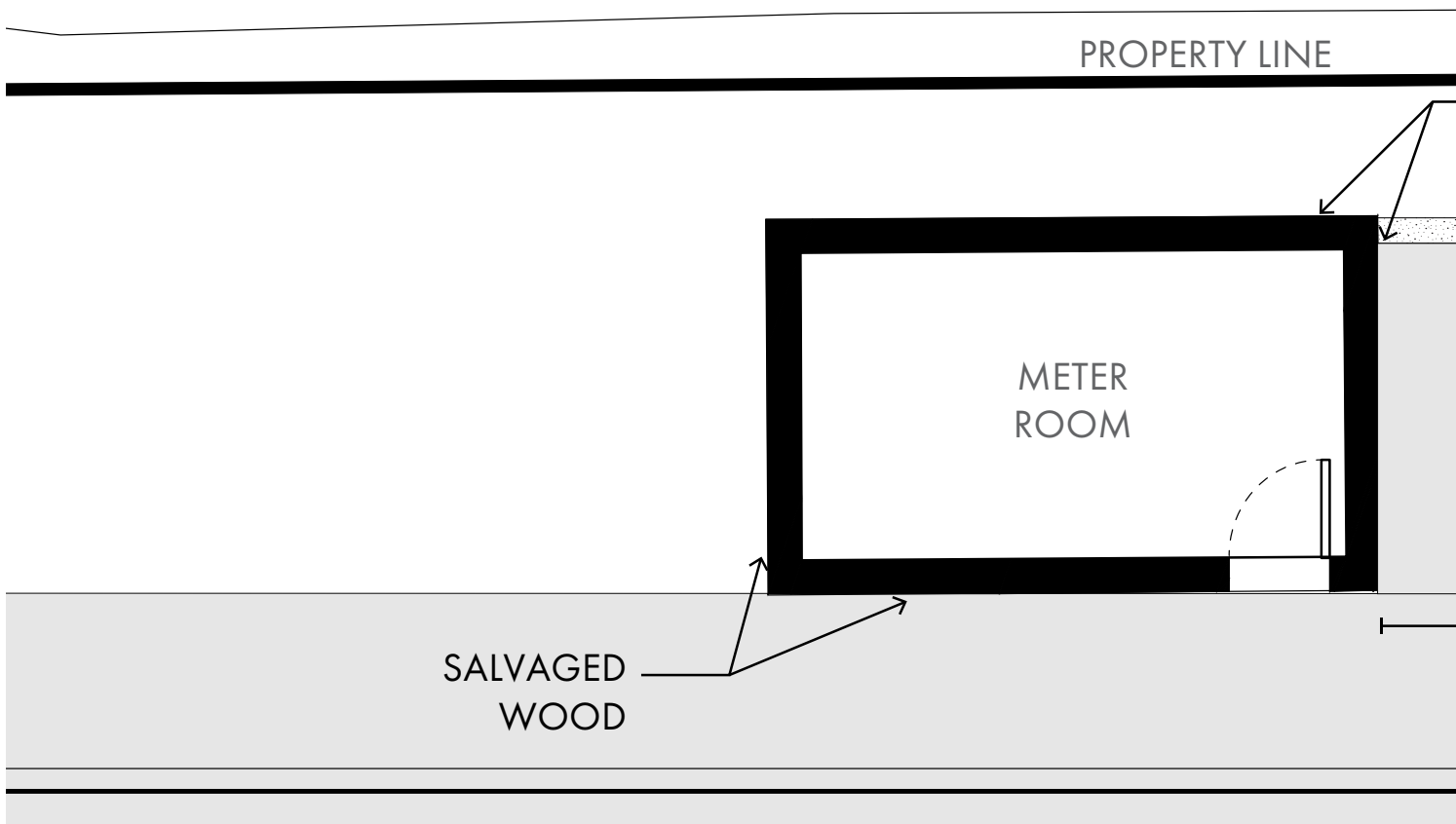
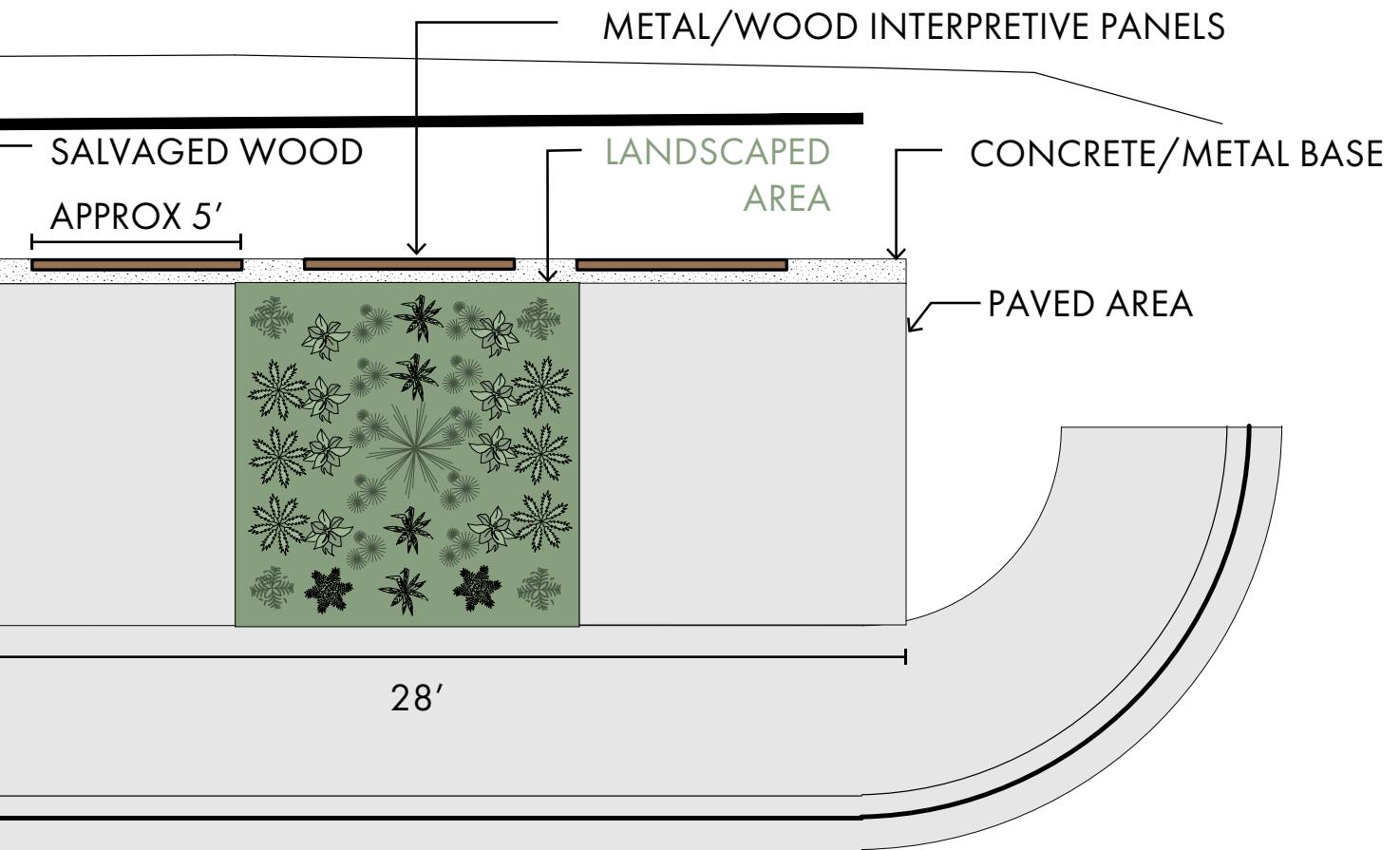


Figure. 3.5. Plan of commemoration installation, schematic design



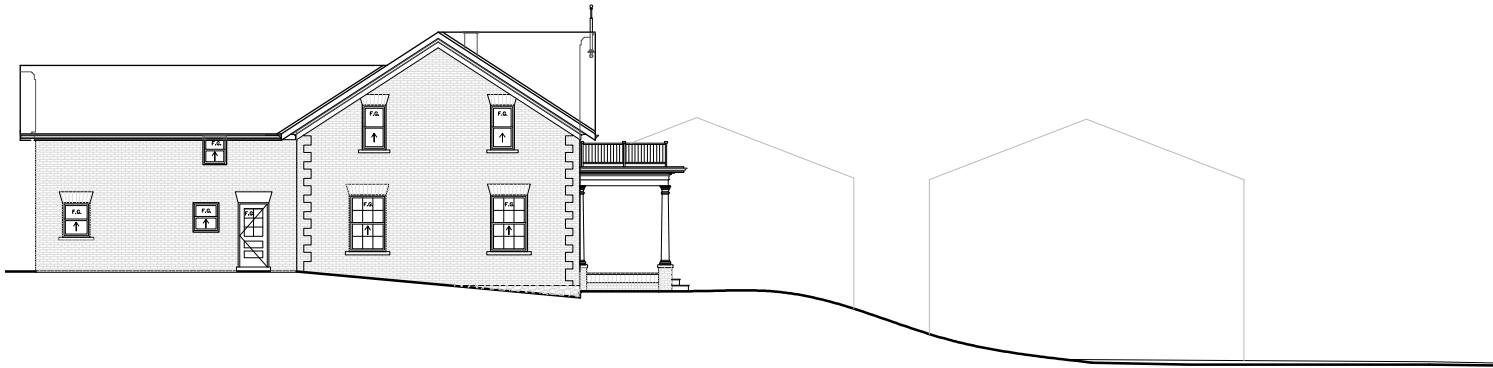
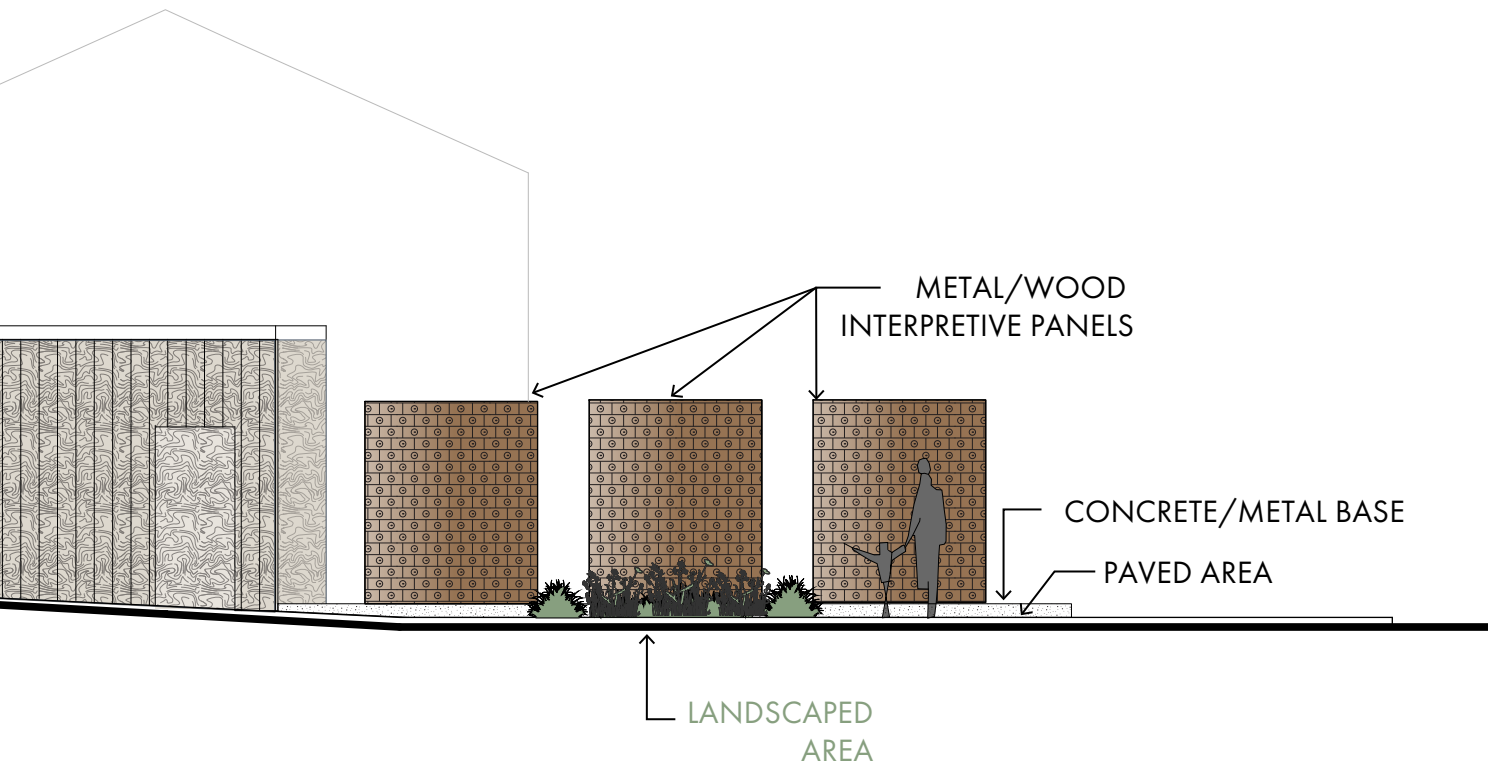
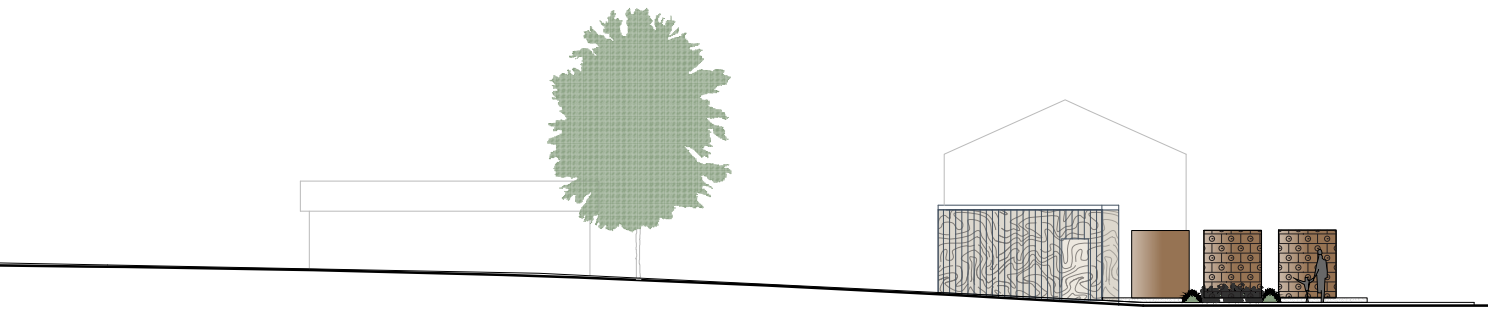


Figure. 3.6. Site section at commemoration installation, schematic design



Figure. 3.7. Elevation of commemoration installation, schematic design



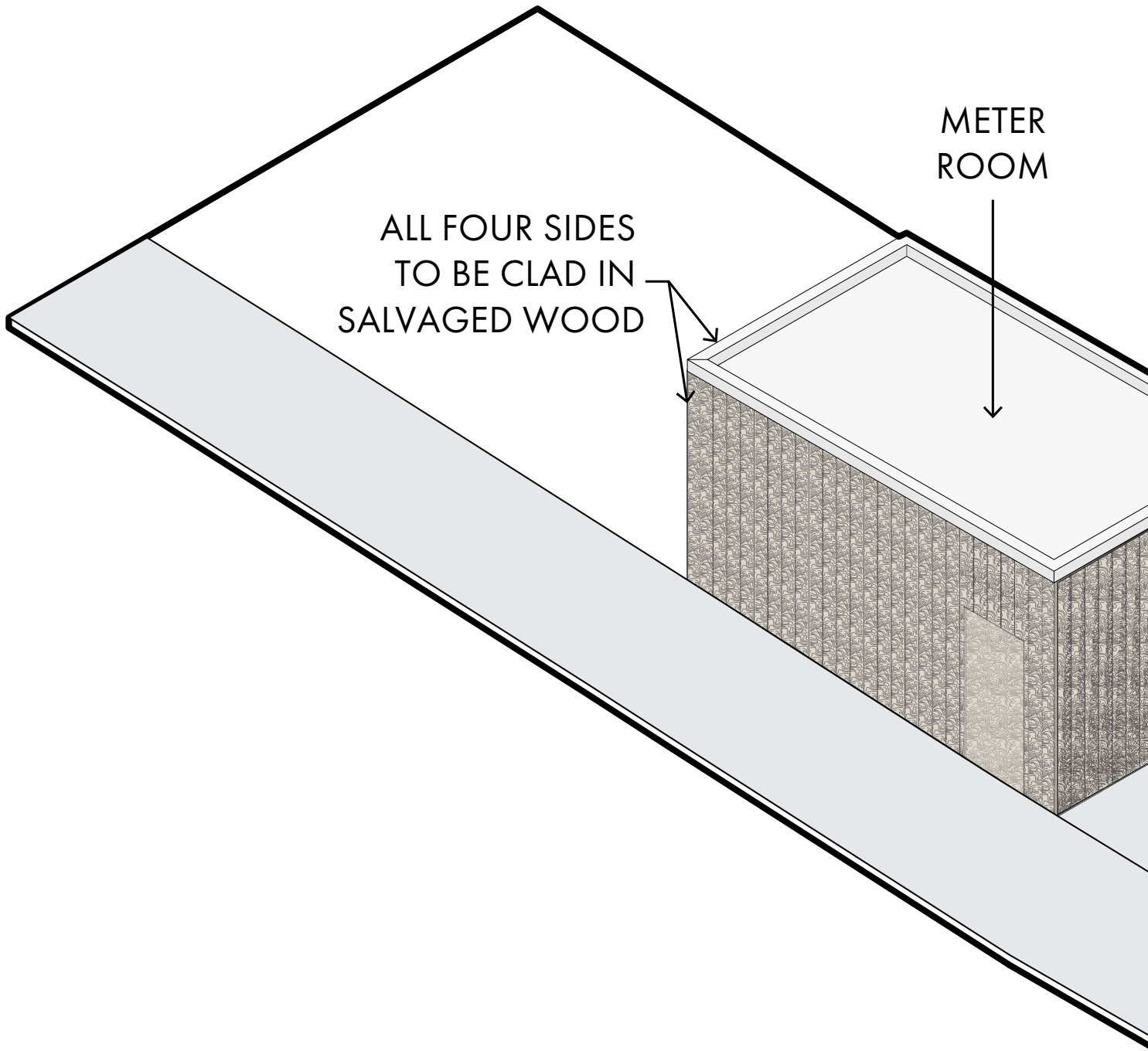
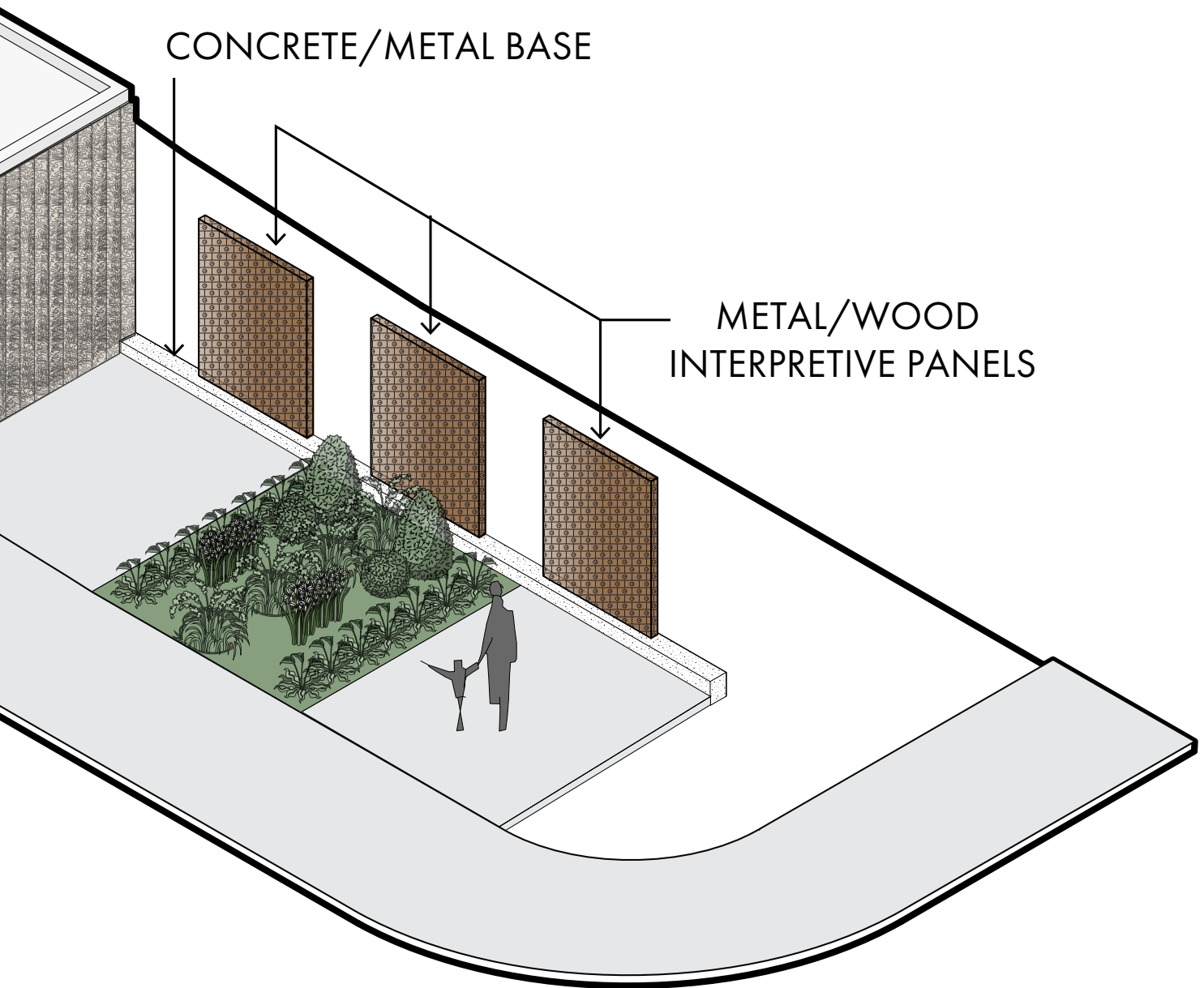


Figure. 3.8. Axonometric of commemoration installation, schematic design



## 3.2 EXTERIOR RECOMMENDATIONS

### 3.2.1 MASONRY

- Incompatible non-original mortar to be removed and select wall areas repointed;
- Spalled and cracked original bricks to be removed and replaced with new brick to match original;
- Masonry facades to be cleaned;
- Redundant sealants to be removed and masonry cleaned;
- Sealant at window frames to be removed and new sealant applied.

### 3.2.2 WINDOWS & DOORS

- All original windows to be fully restored and deteriorated sills to be replaced;
- All window shutters to be removed, as they are not original;
- Concealed damaged brick to be replaced and mortar repointed;

### 3.2.3 GENERAL REPAIRS











- One storey addition (existing ground floor washroom) to be removed;
- Existing incompatible chimney to be removed;
- Drainage to be reconfigured to align with new house location. Existing eavestroughs and downspouts to be replaced with new;
- Extraneous items affixed to facades to be removed;
- Original wood soffit and barge board to be repaired, deteriorated elements replaced and repainted;
- Original wood fascia to be replaced or repaired and repainted;
- Spalled and cracked bricks at porch pier

to be replaced. Wood column bases to be replaced;

- Porch railing, deck and skirting to be removed and replaced with new design compatible with original design;
- Second floor deck rail to be removed and replaced with new design compatible with original design;
- Original wood columns at porch to be repaired and repainted



**CONSERVATION LEGEND**

-  D102/D103: REMOVE EXISTING NON-CONTRIBUTING ADDITION
-  D104: SALVAGE BRICK FOR REINSTALLATION
-  D207: SALVAGE AND STORE EXTERIOR STONE UNITS
-  D210: DISMANTLE PORCH, BALCONY, AND COLUMNS
  
-  C101: REPAIR SPALLED BRICK
-  C102: REPAIR MISSING BRICKS
-  C103/107: INFILL OR INSTALL USING SALVAGED MASONRY UNITS
  
-  C104: REPAIR SOILED BRICK MASONRY
-  C105: REPAIR DETERIORATED SOLDIER COURSE
-  C106: REPAIR CRACK

**GENERAL NOTES**

- G001 100% REPOINTING OF MASONRY BRICK WALL. CUT OUT EXISTING UNSYMPATHETIC MORTAR JOINTS. NEW MORTAR TO MATCH ORIGINAL COLOR, TEXTURE, AND TOOLING.
- G002 100% CLEANING OF ALL REMAINING MASONRY FACADES.
- G003 ALL DIMENSIONS, AREAS, LOCATIONS OF THE PROPOSED CONSERVATION WORK ARE INDICATED FOR GUIDANCE ONLY. THEY REQUIRE VERIFICATION ON SITE.
- G004 CONSERVATION, PROTECTION, STABILIZATION, AND DISMANTLING WORK TO BE CONDUCTED BY AN APPROVED HERITAGE CONTRACTOR.
- G005 RELOCATION WORK TO BE CONDUCTED BY AN APPROVED SPECIALIZED CONTRACTOR.
- G006 THE ARCHITECTURAL HERITAGE (AH) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, RELOCATION, AND STRUCTURAL DRAWINGS.
- G007 THE FORMS OF DETERIORATION AND THE PROPOSED CONSERVATION WORK CONDUCTED IN THE AH DRAWINGS ARE BASED ON THE CONDITION ASSESSMENT AND THE SITE PHOTOS TAKEN BY GIAIMO ARCHITECTS ON 2021-04-30.

**DEMO, REMOVALS, AND SALVAGE**

- D101 REMOVE EXISTING LIGHT FIXTURE.
- D102 REMOVE EXISTING NON-CONTRIBUTING WASHROOM ADDITION.
- D103 REMOVE EXISTING NON-CONTRIBUTING CHIMNEY.
- D104 REMOVE AND SALVAGE EXISTING BRICK AND REUSE AFTER RELOCATION.
- D105 REMOVE EXISTING WOOD STEPS AND HANDRAIL.
- D106 REMOVE EXISTING EAVESTROUGHS AND ASSOCIATED DOWNSPOUTS. MAINTAIN DURING RELOCATION UNTIL CONSERVATION WORK BEGINS.
- D107 LOCATE SAW-CUT LINE AS SPECIFIED BY STRUCTURAL ENGINEER.
- D108 REMOVE EXISTING SHUTTERS.
- D109 REMOVE RESIDUAL ELEMENTS.
- D110 REMOVE EXISTING WOOD GUARDRAIL.
- D111 REMOVE EXISTING SIGNAGE.
- D112 REMOVE EXISTING SILL.

**PROTECTION, STABILIZATION, AND DISMANTLING**

- D201 RETAIN AND PROTECT THE RETAINED FACADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION, RELOCATION, AND CONSTRUCTION.
- D202 PROTECT THE FACADES FROM WEATHER ELEMENTS DURING STABILIZATION, RELOCATION, AND CONSTRUCTION.
- D203 INSTALL TEMPORARY STABILIZATION STRUCTURE TO STABILIZE THE RETAINED BUILDING FOR RELOCATION. PROTECT THE FAÇADES DURING THE CONSTRUCTION, USE, AND REMOVAL OF THE TEMPORARY STABILIZATION STRUCTURE AND ITS COMPONENTS.
- D204 PROTECT FACADES FROM IMPACT DAMAGE AND INDIRECT IMPACT SUCH AS CONCRETE SPLATTER.
- D205 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
- D206 CAREFULLY REMOVE PORTIONS OF THE EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
- D207 SALVAGE AND STORE EXTERIOR STONE UNITS FROM THE EXISTING BUILDING.
- D208 CAREFULLY DISMANTLE MATERIALS BETWEEN SAWCUT LINE AND RETENTION LINE. DISMANTLE IN SUCH A WAY AS TO AVOID DAMAGE ON RETAINED FACADES.
- D209 VERIFY LOCATIONS OF STRUCTURAL COMPONENTS.
- D210 CAREFULLY DISMANTLE PORCH, BALCONY, AND COLUMNS FOR REINSTALLATION AFTER RELOCATION.

**CONSERVATION**

- C101 REPAIR SPALLED BRICK.
- C102 REPAIR MISSING BRICKS USING SALVAGED UNITS.
- C103 INFILL EXISTING WINDOW OPENING WITH SALVAGED MASONRY RECESSED 25MM FROM ORIGINAL BRICK WALL.
- C104 REPAIR SOILED BRICK MASONRY.
- C105 REPAIR DETERIORATED SOLDIER COURSE HEADER MASONRY.
- C106 REPAIR STEP CRACK IN MASONRY.
- C107 INSTALL USING SALVAGED MASONRY UNITS.
- C201 REPAIR CHIPPED SANDSTONE PLINTH – REMOVE PAINT.
- C202 REPAIR DECORATIVE STONE ELEMENTS – REMOVE PAINT.
- C203 CLAD NEW FOUNDATION IN STONE.
- C301 REPAIR DOOR.
- C302 REPAIR WINDOW.
- C303 EXISTING WOOD SILL TO BE REPLACED.
- C304 NEW BASEMENT WINDOW & WINDOW WELL TO BE INSTALLED. HERITAGE CONSULTANT TO REVIEW PRIOR TO INSTALLATION.
- C401 RESERVED.
- C501 INSTALL REPLACEMENT FOR DETERIORATED WOODWORK.
- C502 REPAIR DETERIORATED WOODWORK.
- C503 STRIP, PRIME, AND PAINT WOODWORK.
- C504 REPAIR AND REPAINT ALL WOOD SOFFITS AND TRIM.
- C505 INSTALL WOOD GUARDRAIL.
- C506 INSTALL WOOD STAIRS.

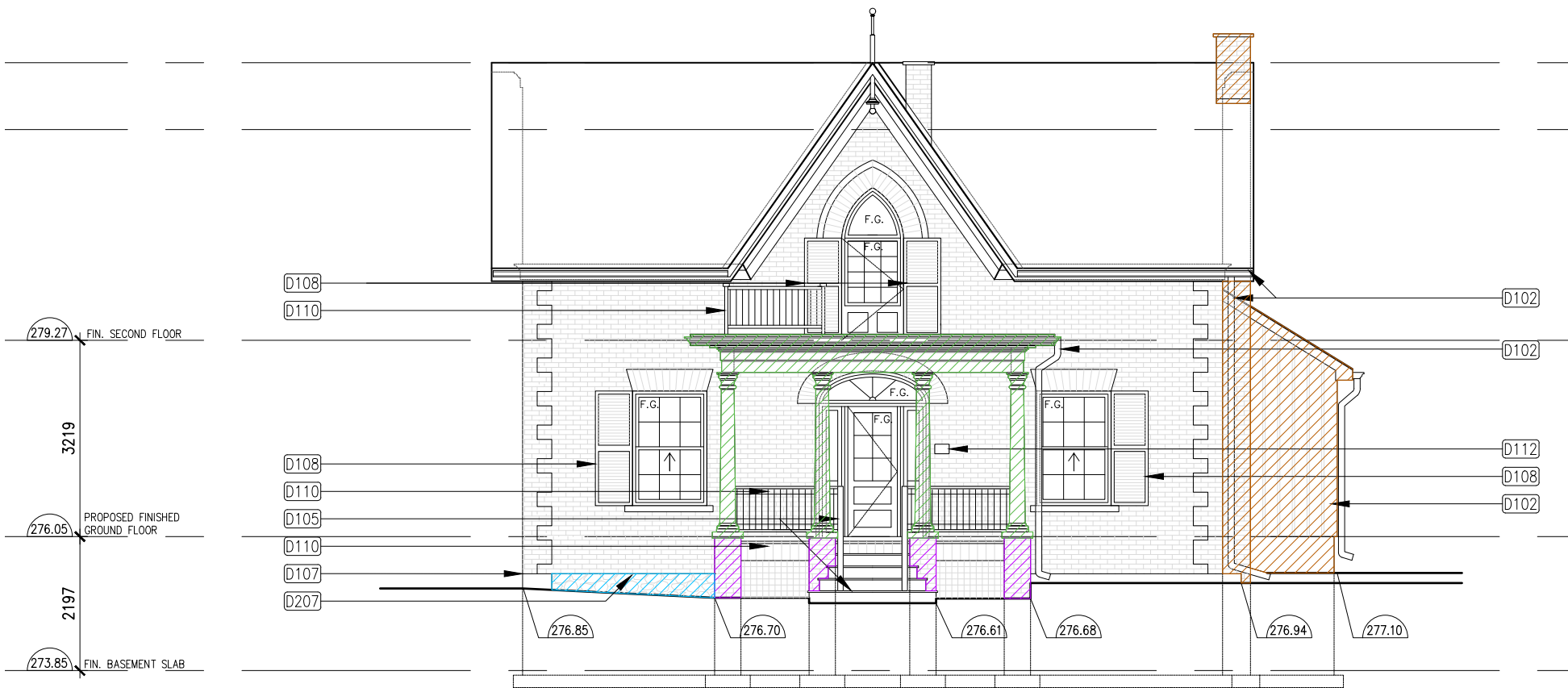


Figure 3.9. Conservation demolition, north elevation, 1:100

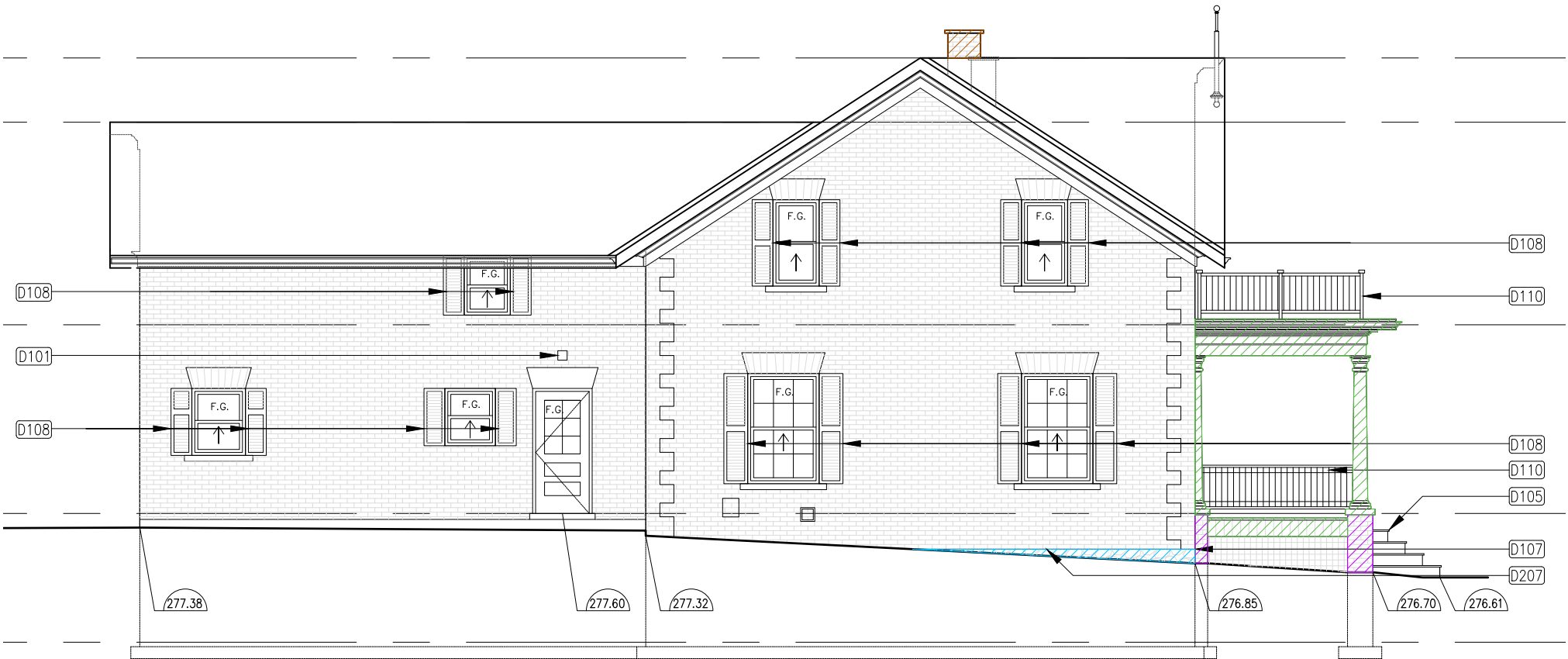


Figure 3.10. Conservation demolition, east elevation, 1:100



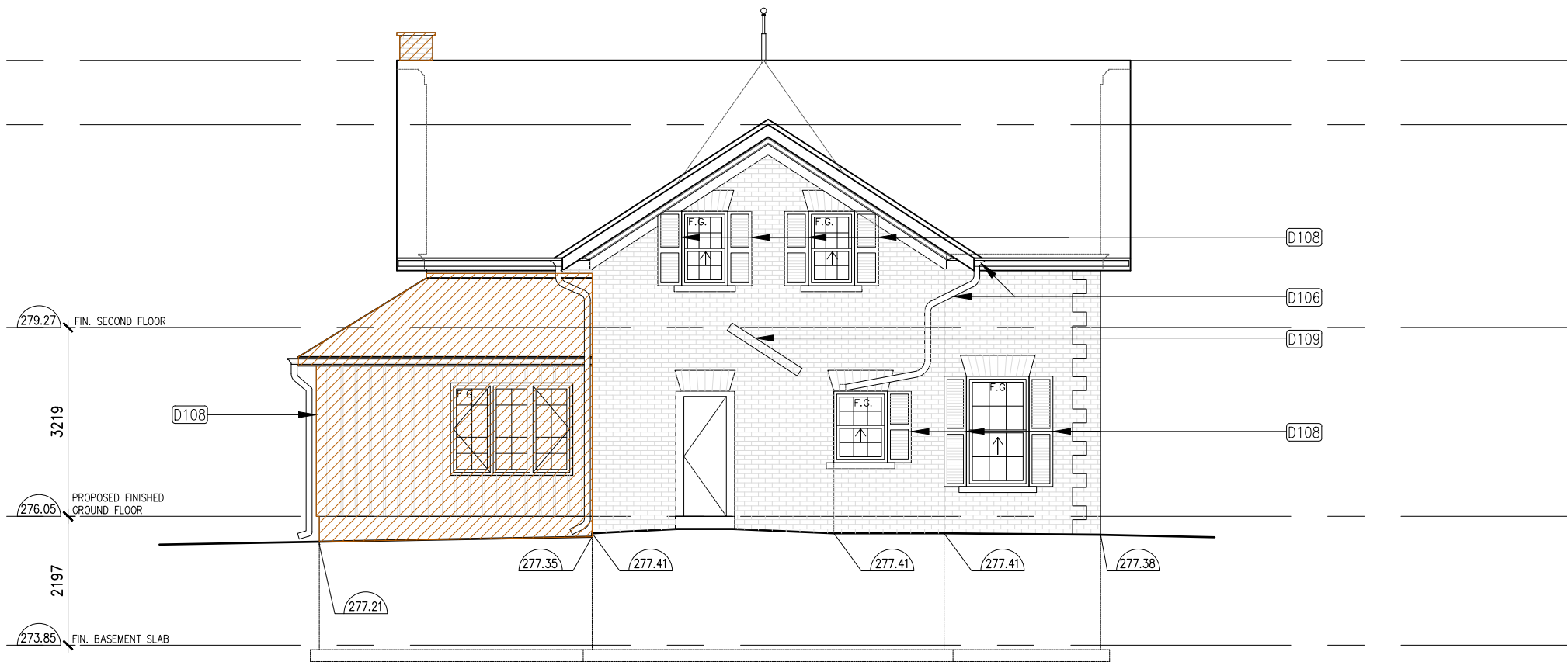


Figure 3.11. Conservation demolition, south elevation, 1:100



Figure 3.12. Conservation demolition, west elevation, 1:100

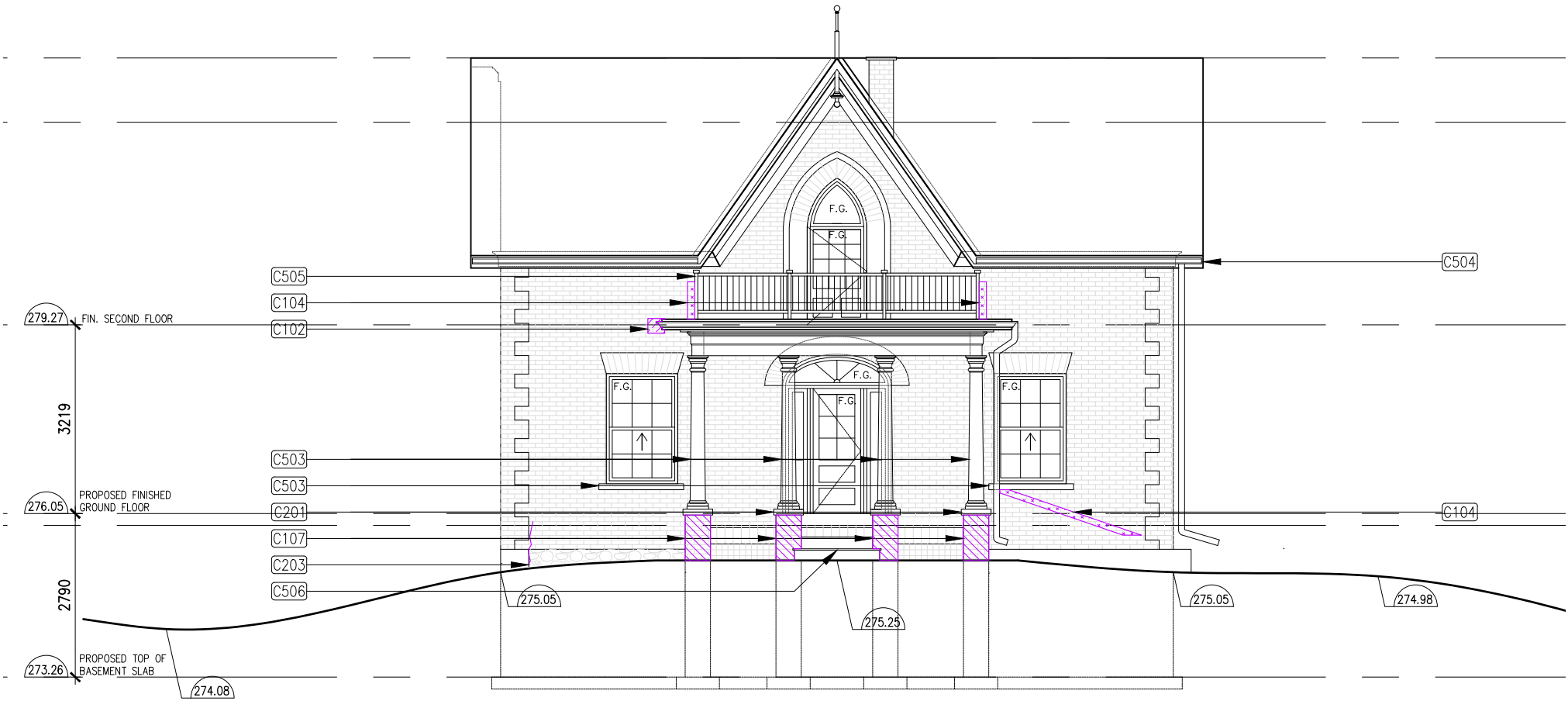


Figure 3.13. Conservation proposed, north elevation, 1:100



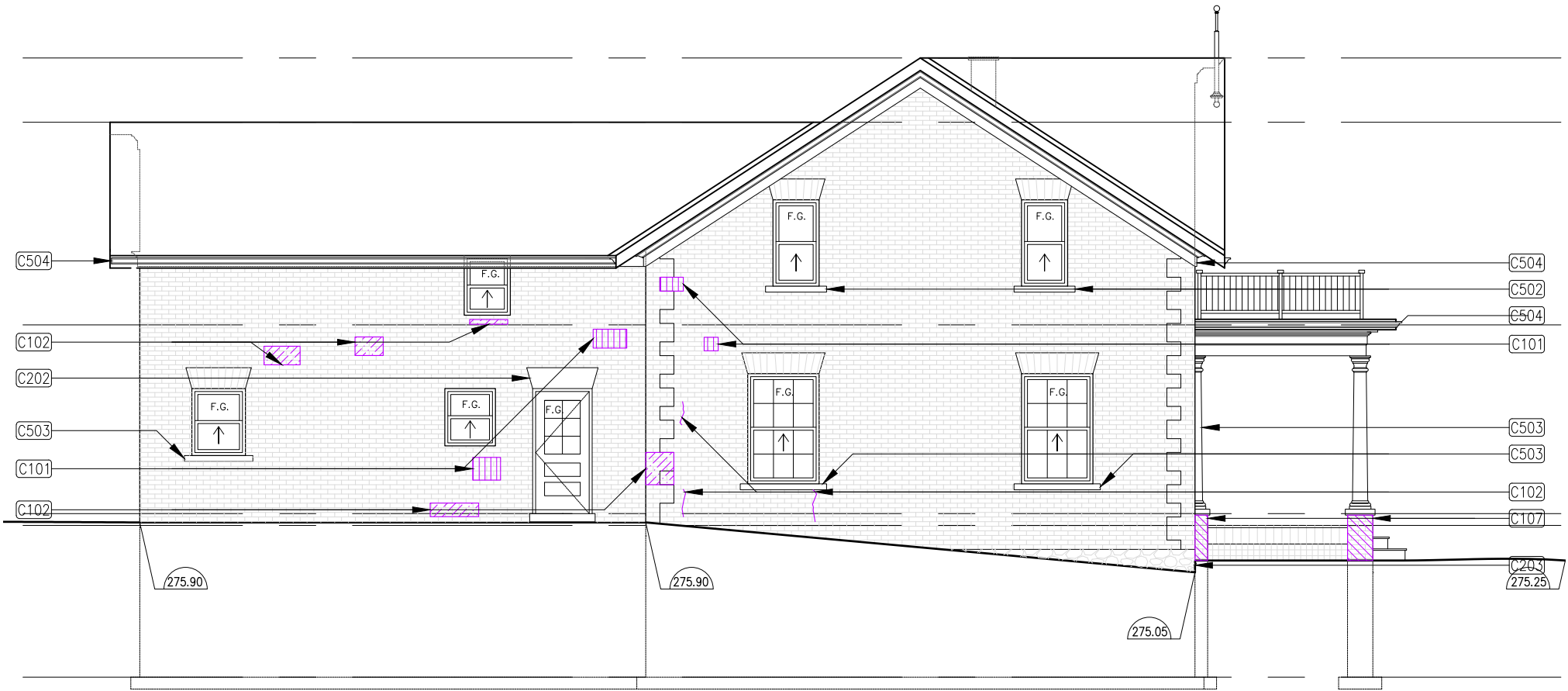


Figure 3.14. Conservation proposed, east elevation, 1:100

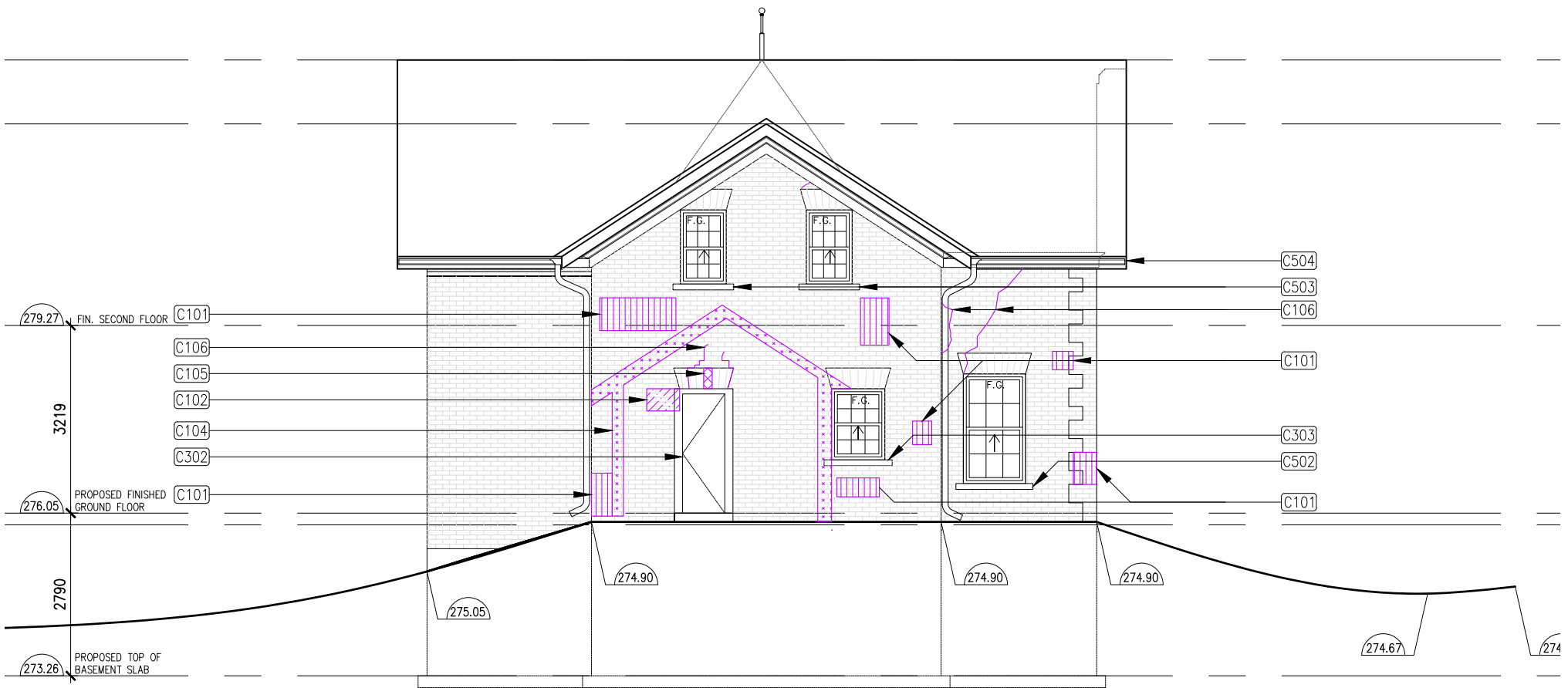


Figure 3.15. Conservation proposed, south elevation, 1:100

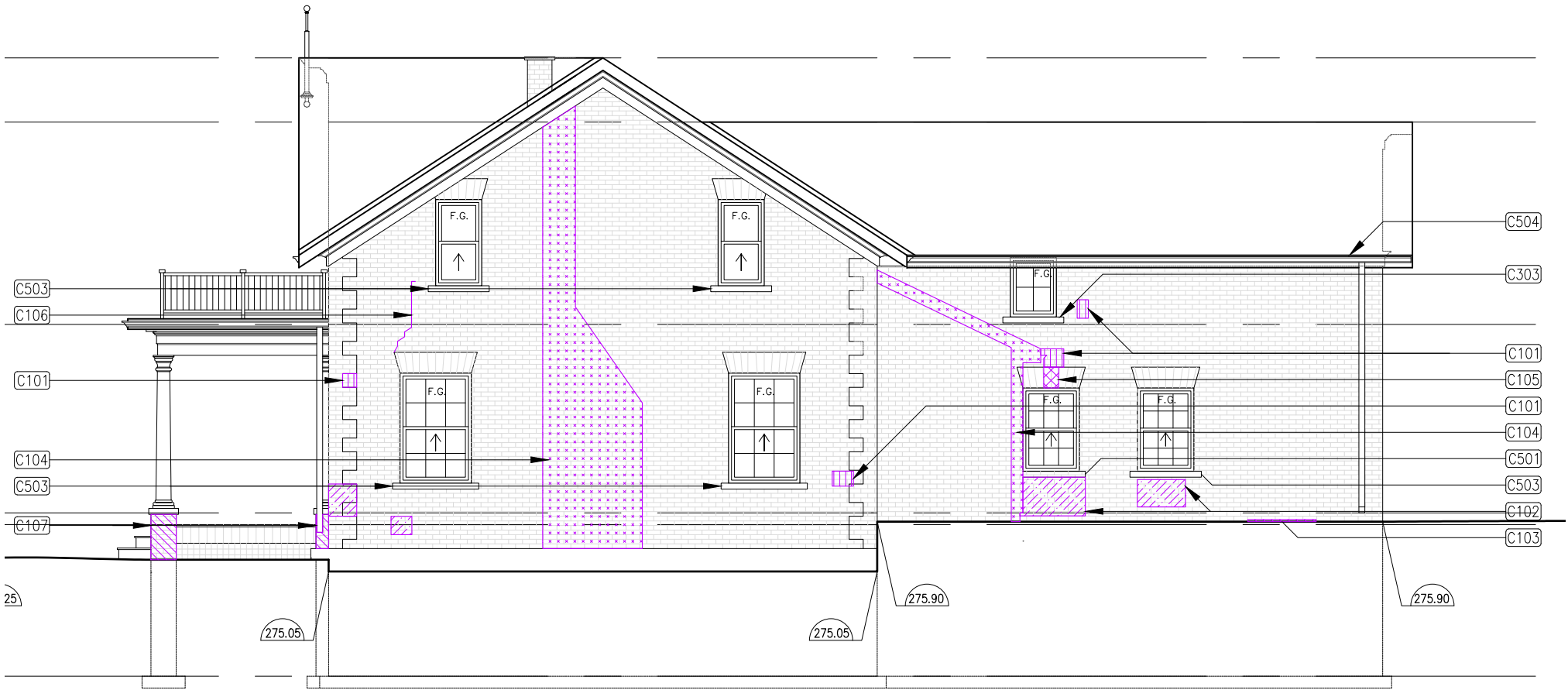


Figure 3.16. Conservation proposed, west elevation, 1:100





Figure. 3.17. Detail of fieldstone from existing foundation



Figure. 3.20. Incompatible mortar to be removed



Figure. 3.18. Incompatible mortar to be removed



Figure. 3.21. Select wall areas to be repointed



Figure. 3.19. Spalled & cracked brick to be removed & replaced



Figure. 3.22. Spalled & cracked brick to be removed & replaced





Figure. 3.23. All original masonry to be cleaned



Figure. 3.26. Redundant tar sealant from former addition to be removed & masonry cleaned



Figure. 3.24. Sealant at original frames & brick to be removed & reapplied



Figure. 3.27. Detail of extraneous items to be removed



Figure. 3.25. Eavestroughs and downspouts to be replaced



Figure. 3.28. Detail of extraneous items to be removed





Figure. 3.29. Original wood fascia to be replaced or repaired & repainted



Figure. 3.32. Cracked original brick & wood column bases to be replaced



Figure. 3.30. Incompatible existing chimney is not original and is to be removed

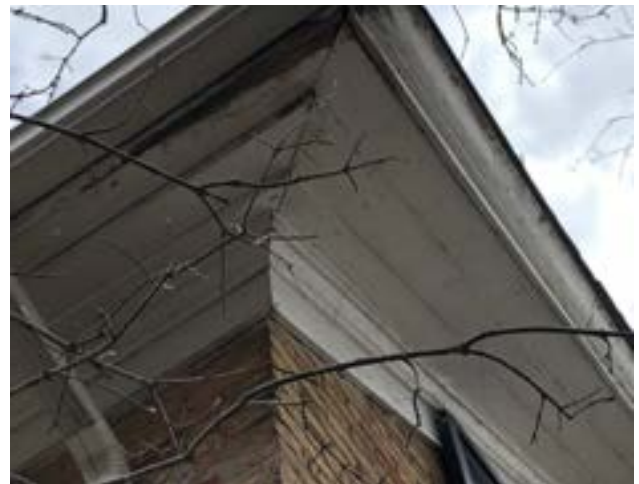


Figure. 3.33. Wood soffit and barge board to be repaired



Figure. 3.31. One storey addition to be removed



Figure. 3.34. Porch railing, deck & skirting to be removed & replaced





Figure. 3.35. Second floor deck rail to be removed & replaced



Figure. 3.36. All original windows to be fully restored & sills to be replaced



Figure. 3.37. All original wood elements at porch to be repaired and repainted



Figure. 3.38. All original windows to be fully restored & sills to be replaced



Figure. 3.39. Shutters are not original and are to be removed; brick replaced; mortar repointed

### 3.3 INTERIOR RECOMMENDATIONS

- Interior wainscoting, baseboards and paneled window reveals and sills to be preserved, repaired and repainted;
- Stairs to be retained, stabilized, resealed and repainted.



Figure. 3.42. Original window reveals & sills to be preserved, repaired & repainted

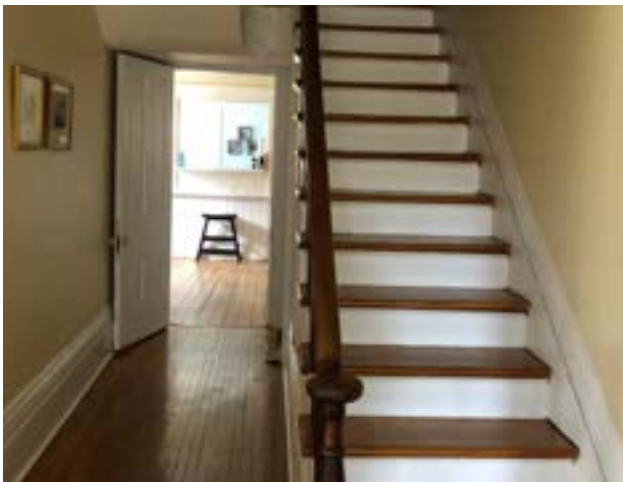


Figure. 3.40. Original stairs to be retained, stabilized, resealed & repainted

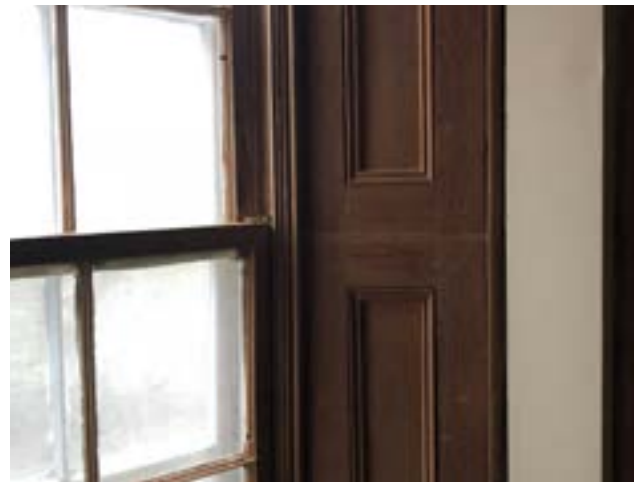


Figure. 3.43. Original window reveals & sills to be preserved, repaired & repainted

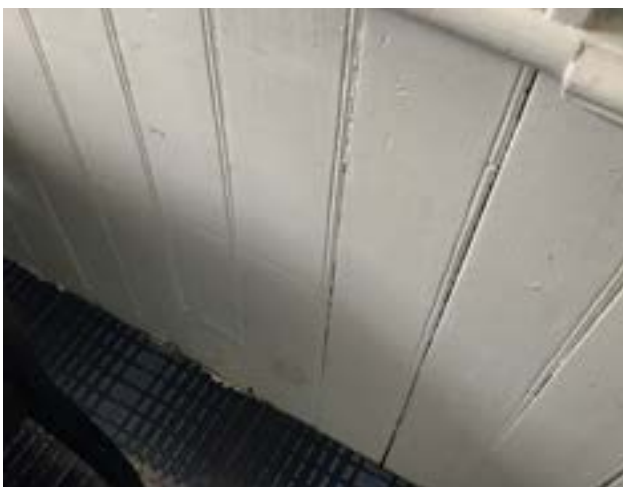


Figure. 3.41. Original wainscoting to be preserved, repaired & repainted



Figure. 3.44. Original baseboards to be preserved, repaired & repainted

## 4 - POST-CONSERVATION MAINTENANCE RECOMMENDATIONS

As part of the program of work contained within this Conservation Plan, many improvements are proposed. With respect to ongoing post-conservation maintenance to be included in the Heritage Easement Agreement, regular inspections are suggested within the following time frames:

**Yearly:** Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left un-repaired.

**Every 5 Years:** Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing, and adjacent grade conditions.

In addition to repairs made following these inspections the following life-cycle inspections and replacements are suggested:

**Every 10-15 Years:** Renewal of caulking, inspection of window hardware and weatherstripping, as required.

**Every 25-30 Years:** Replacement of roofing membrane and flashings, as required.

**Ongoing:** Selective repointing of deteriorated mortar joints and spalled bricks.



## 5 - COST ESTIMATES

The following are preliminary cost estimates for the relocation and exterior restoration of the heritage building. The costs are developed in concert with heritage contractors.

Heritage house relocation contractor	\$148,000
Heritage house relocation engineering	
(design of temporary frame + new foundation)	\$20,500
Heritage House exterior restoration	\$255,000
	<hr/>
	\$423,500

## 6 - CONSTRUCTION SCHEDULE

The following is a preliminary construction schedule:

Pouring of new foundation	September 2021
Heritage house relocation	October 2021
Heritage house restoration	Dec 2021 - March 2022

## 7 - CONCLUSION

This report finds that proposed rehabilitation approach described in this report will conserve and protect the heritage value and attributes set out under the designation by-law for the property while facilitating its adaptive reuse within an infill residential development.

# APPENDICES

## A - HERITAGE DESIGNATION BY-LAW

### BY-LAW NUMBER 2010-171

OF

**THE CORPORATION OF THE TOWNSHIP OF UXBRIDGE  
BEING A BY-LAW TO DESIGNATE THE PROPERTY  
KNOWN AS THE ISAAC GOULD HOUSE, 62 MILL STREET  
AS BEING OF ARCHITECTURAL AND HISTORICAL VALUE  
OR INTEREST**

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1990, Chapter O.18, Part IV, authorizes the Council of a Municipality to enact by-laws to designate real property including all buildings and structures thereon, to be of architectural and historical value or interest.

AND WHEREAS the Council of the Corporation of the Township of Uxbridge has caused to be served on the owner of the lands and premises known as the Isaac Gould House, 62 Mill Street and upon the Ontario Heritage Foundation, notice of intention to designate the aforesaid real property and has caused such notice of intention to be published in a local newspaper having general circulation in the Municipality.

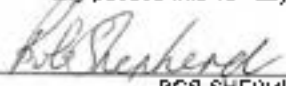
AND WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality.


AND WHEREAS the reasons for the designation are set out in Schedule "B" hereto.

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF UXBRIDGE HEREBY ENACTS A BY-LAW AS FOLLOWS**

1. THAT the real property known as the Isaac Gould House, 62 Mill Street, more particularly described in Schedule "A" hereto, there is hereby designated as being of architectural and historical value or interest and the reasons for designation are set out in Schedule "B" hereto.
2. THAT the Clerk is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule "A" hereto in the Land Registry Office at Whitby, Region of Durham, Province of Ontario.
3. THAT the Clerk is hereby authorized to cause a copy of this By-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of the By-law to be published in a local newspaper having general circulation in the Municipality.

READ a FIRST, SECOND and THIRD time and finally passed this 18<sup>th</sup> day of October, 2010.

  
BOB SHEPHERD  
MAYOR

  
DEBBIE LEROUX  
CLERK



**SCHEDULE "A"**

**TO BY-LAW NUMBER 2010-171**

**Description of Property**

legally described as Lots 5 & 488 1/2 Bth Bks B38 5 000, Lots 484, 485, 486, 487, 487 1/2 Bk B38, Lots 525, 526 & 527 1/2 1/F. & Part Lot 491 1/2 Bk 000, Plan 83, as in G4222881, Township of Uxbridge, Regional Municipality of Durham

182 Mill Street (former Town of Uxbridge), now in the Township of Uxbridge, Regional Municipality of Durham.

Known as the The Isaac Gould House, this property is located on the south side of Mill Street, Township of Uxbridge.

## SCHEDULE "B":

### TO BY-LAW NUMBER 2010-171

#### REASONS FOR DESIGNATION ISAAC GOULD HOUSE 82 MILL STREET

##### Statement of Cultural Heritage Value or Interest

62 Mill Street's cultural heritage value lies in its association with the Gould family which dominated the affairs of Uxbridge throughout most of the 19<sup>th</sup> century. Isaac Gould was born in 1825, the son of Joseph Gould, Uxbridge's pre-eminent rope-furmer, businessman, politician, and philanthropist. Like his father, Isaac was both a businessman and politician. He owned a woolen and grist mill and took part in the banking and timber trade. As a politician, he served as Uxbridge's Reeve and Warden of Ontario County in 1883. In 1901, he was elected as the Ontario County member of Parliament to the Canadian House of Commons.

Isaac and his wife Rebecca Chapman Gould constructed what is thought to be the Town's first brick house in 1866 from clay dug on its secluded between the family farm and Elm Pond. The masonry walls are made of five layers of brick, reinforced with half-inch pieces of strap iron. The 1.5 storey Gothic Revival style home was constructed in behind the modest frame house built by his father Joseph in 1825 that was torn down in 1917. The Isaac Gould house is said to be the first home in Uxbridge lit by electricity as Isaac and his father also owned the electric light mill. The house was continuously occupied by members of the Gould family for 100 years before being sold outside of the family in 1960.

##### Description of Heritage Attributes

Key exterior attributes that embody the heritage value of the Isaac Gould house as the home of Uxbridge's most influential 19<sup>th</sup> century family include its:

- T-shaped plan;
- Randomly coursed granite bedstone foundation;
- One and a half storey, moderately pitched cross-gabled form;
- Original wooden soffits, kingpost, and frame board trim;
- Solid masonry walls made of local clay brick including decorative arches and quoins;
- 3-bay front facade, with central dormer and high-pitched second storey wooden gable; arched door that opens to the roof of the front porch;
- Early 19<sup>th</sup> century classical front porch with simple wooden Doric columns;
- Original front entrance with solid wooden paneled door, semi-circular transom and side lights;
- Original six-over-six wooden sash hung windows;
- Rear, one storey, beam and rafters woodshed.

# B - HERITAGE QUALIFICATIONS

## ARCHITECTURAL HERITAGE CONSULTANT

### JOEY GIAIMO

B.Tech, M.Arch, OAA, MRAIC, CAHP

Joey brings more than 25 years of experience in the architectural, heritage and engineering professions, including an extensive portfolio in integrating design and heritage conservation. He is an instructor at Ryerson University, with courses focusing on innovative interventions, rehabilitation, and conservation of existing buildings. His work has been presented and published at numerous conferences and exhibits, such as for the Society for the Study of Architecture in Canada, Association for Preservation Technology, and National Trust for Canada. Joey's approach to architecture sources the value and characteristics of existing buildings and spaces. This process recognizes and records the state of things as they are, and intervenes with them in respectful and sensitive ways. He thinks it is better to be less compulsive when designing. There are no hard and firm rules, the process is always open and collaborative. The success of his projects is contingent on this approach.



### EDUCATION

2003 – 2006	University of British Columbia, School of Architecture and Landscape Architecture M.Arch (Master of Architecture)
1990 – 1994	Ryerson University B.Tech, Arch.Sci (Bachelor of Technology, Architectural Science)

### PROFESSIONAL EXPERIENCE

2015 – present	Giaimo Toronto, Ontario
2007 – 2014	ERA Architects Inc. Toronto, Ontario
2004 – 2005	Busby Perkins + Will Vancouver, British Columbia
2001 – 2003	Dunlop Architects Inc. Toronto, Ontario
2000 – 2001	Taylor I Hazell Architects Ltd. Toronto, Ontario
1994 – 2000	Nadine International Inc. Mississauga, Ontario

### MEMBERSHIPS, PROFESSIONAL AFFILIATIONS

2017 – present	Canadian Association of Heritage Professionals Member
2017 – present	The Society for the Study of Architecture in Canada Member
2014 – present	Toronto Society of Architects Member
2011 – present	Ontario Association of Architects Member
2006 – present	Royal Architectural Institute of Canada Member
2011 – 2015	Harbourfront Centre Architecture Advisory Committee Member

### HONOURS, SCHOLARSHIPS, AWARDS

2016	Heritage Toronto Awards Hermant Building, Award of Merit
	Canadian Association of Heritage Professionals Awards Hermant Building
	North American Copper in Architecture (NACIA) Award Hermant Building, Exterior Ornamental Category



- 2015 Lieutenant Governor's Ontario Heritage Awards  
Allandale Train Station, Excellence in Conservation  
Heritage Toronto Awards  
Bronze Entranceway - 21 Dundas Square, Award of Excellence
- 2012 Canadian Association of Heritage Professionals Awards  
*North York's Modernist Architecture Revisited*
- 2012 Canadian Association of Heritage Professionals Awards  
Coliseum Complex, Exhibition Place, Award of Merit
- 2011 Mike Wagner Heritage Awards  
Lang Tannery, Rehabilitation & Adaptive Reuse Category
- 2010 Heritage Toronto Awards  
Allstream Centre, Exhibition Place, Award of Merit  
Canadian Association of Heritage Professionals Awards  
Allstream Centre, Exhibition Place, Award of Merit  
Canadian Association of Heritage Professionals Awards  
*Cultural Institutions in the Public Realm* Study, Special Mention

## SELECTED PROJECTS

- 2020 The Oculus Revitalization Toronto, Ontario  
Restoration and reimagining of City of Toronto space-age modernist park pavilion, in collaboration with the ACO as part of Park People's Public Space Incubator program. Occupancy: Community/Cultural  
14 Dewhurst Blvd Toronto, Ontario  
Restoration and conservation of heritage church facade, as well as heritage interpretation strategy and assisting in integrating it into new 4-storey loft addition. Occupancy: Residential, Commercial
- 2019 19 & 21 Dundas Square Toronto, Ontario  
Programmatic and spatial reimagining, facade restoration and 90,000sqft interior renovation of a designated art deco heritage building. Occupancy: Office, Retail
- 2018 211 Yonge Street Toronto, Ontario  
Design of interiors and conservation of principal facade of a designated heritage building  
Occupancy: Office, Retail
- 2017 Silversmith Brewing Company Niagara-on-the-Lake, Ontario  
Design for renovation and addition to historic church. Occupancy: Brewery, Restaurant
- 2016 Mulcaster Street Armoury Barrie, Ontario  
Heritage Impact Assessment and heritage consulting for designated heritage building, built 1888.  
Occupancy: Museum, Cultural
- 2015 Trinity-St. Paul's Centre Toronto, Ontario  
Management of design and contract administration for the renovation of the performance hall/sanctuary and lobby/narthex of a heritage building. Occupancy: Performance Venue, Community Space, Cultural  
Bay Adelaide Centre Toronto, Ontario  
Management of design and contract administration for the relocation, panelization and restoration of heritage facades. Occupancy: Office, Retail  
Casey House, 571 Jarvis Street Toronto, Ontario  
Development of Heritage Impact Assessment; design, management and contract administration for restoration of heritage building. Occupancy: Hospital
- 2014 19 Dundas Square Toronto, Ontario  
Management of design and contract administration for the restoration of heritage facades and lobby.  
Occupancy: Office, Retail  
Allandale Train Station Barrie, Ontario  
Management of design and contract administration for the restoration of a heritage building.  
Occupancy: Cultural
- 2013 Sony Centre Toronto, Ontario  
Management and contract administration for restoration of heritage building.  
Occupancy: Performance Venue
- 2012 Coliseum Complex, Exhibition Place Toronto, Ontario  
Management of design and contract administration for the exterior restoration of heritage buildings.  
Occupancy: Mixed-Use, Cultural

## BUILDING RELOCATION - MOVER

When it comes to historic buildings, retention, relocation, preservation...McCulloch has been doing the unusual and seemingly impossible since 1974. Serving the commercial, industrial, institutional and even residential markets...we pride ourselves on our near 50 years of award winning projects and trusted relationships with some of the largest and most respected companies, institutions and government entities.

### Clients:



### Select Awards:

From the International Association of Structural Movers, continuous membership since 1989

- 2020 - Tallest Structure Moved On Rubber Tires
- 2018 - Heaviest Structure Moved
- 2014 - Heaviest Building Moved Not On Rubber Tires
- 2013 - Most Square Footage Moved on One Level
- 2012 - Historical Honour
- 2010 - Heaviest Building Moved Not On Rubber Tires
- 2010 - Tallest Structure Moved Not On Rubber Tires
- 2007 - Heaviest Structure Moved on Dollies under \$30,000.00
- 2007 - Heaviest Structure Moved
- 2006 - Heaviest Structure Moved under \$30,000.00

From the Texas Association of Structural Movers, associate member since 1989

- 2017 - Most Square Footage
- 2016 - Smallest Structure Moved
- 2016 - Heaviest Structure Moved
- 2015 - Smallest Structure Moved
- 2015 - Heaviest Structure Moved
- 2015 - Best Looking Load
- 2014 - Smallest Structure Moved
- 2014 - Most Square Footage On One Floor
- 2013 - Tallest Structure Moved
- 2013 - Widest Structure Moved
- 2013 - Smallest Structure Moved
- 2013 - Heaviest Structure Moved
- 2012 - Heaviest Structure Moved



## **GREG MCCULLOCH**

**LAURIE MCCULLOCH BUILDING MOVING**  
**WWW.MCCULLOCHMOVERS.CA |**

### **EXPERIENCE**

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**PRESIDENT • LAURIE MCCULLOCH BUILDING MOVING • MARCH 2019 – CURRENT.**

Day to day operations of Ontario's largest heritage relocation and retention firm. Clients include Parks Canada, Ellis Don, City of Toronto, Allied REIT. To date I have successfully completed over 100 heritage projects in the province from simple moves to complex turnkey solutions

**OPERATIONS MANAGER • LAURIE MCCULLOCH BUILDING MOVING • JUNE 2002 TO MARCH 2019**

Managed growth and projects for specialty heritage relocation and retention firm

**SENIOR TEAM MEMBER • TEACHER TRAINING AGENCY • OCTOBER 2000 TO JUNE 2002**

Project management for governmental agency responsible for assisting returnee teachers back to classroom. Managed a 2 million GBP budget to help mitigate teacher shortage.

### **EDUCATION**

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**BA (POLITICAL SCIENCE) • 1995-1998 • UNIVERSITY OF WESTERN ONTARIO**

### **EXPERIENCE**

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**SECRETARY/TREASURER • INTERNATIONAL ASSOCIATION OF STRUCTURAL MOVERS • MARCH 2019 – CURRENT.**

Elected to executive role of 250-member industry body.

- assisting in lobbying US government for flood plain relief legislation, managing financials, managing COVID response and mitigation strategies

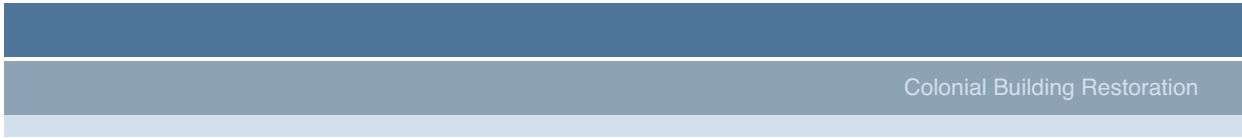
**DIRECTOR • INTERNATIONAL ASSOCIATION OF STRUCTURAL MOVERS • MARCH 2018 – CURRENT.**

Elected to board of directors of 250-member industry body.

- member of committee to rewrite Procedural Guidelines for Structural moving
- assist in planning and delivery of annual industry convention.



## HERITAGE CONTRACTOR



Dear Sir/ Madam:

We would like to take this opportunity to introduce our company with the hope of being added to your bidder's list for any future projects you may be involved with.

We are a multi faceted company with a great range of work involving building envelope repair and restoration, including brickwork, stonework, concrete repairs, caulking, waterproofing and specialized repairs such as Jahn and Kiem. A more complete list is enclosed.

We have the capacity to complete projects from \$5,000.00 to \$10,000,000.00.

We are fully staffed with 60 skilled trades people and an office staff of 12 consisting of project managers, estimators and engineers. We are fully bonded and insured up to \$5,000,000.00, this can be increased as necessary. We are also covered by WSIB and have a clean CAD 7 report.

We are enclosing a short list of projects successfully completed and would hope that we can provide you with the same service.


In 2008 Colonial Building Restoration was awarded the Business Excellence Award by the Scarborough Chamber of Commerce.


Looking forward to working with you in the near future.

Yours truly,  
**COLONIAL BUILDING RESTORATION**

Edward Humphries  
Vice President

*"In the last 22 years, the workforce of Colonial Building Restoration has accumulated unmatched experience in the preservation industry."*

 416.332.3770

 colonial@colonial.on.ca



preserving the past for canada's future

[www.colonial.on.ca](http://www.colonial.on.ca)

**Significant Historical Projects Completed**  
(This does not represent all projects completed by Colonial)

Job Name	Year Complete	Amount	Year Built	Designation	Occupied Building
Whitney Block Phase 6	2022	\$ 7,600,000.00	1925	Toronto Heritage Act	Office to the Premier
Windfield Estates Slate Roof	2021	\$ 424,500.00	1936	Ontario Heritage Trust	
Victoria Hall Stone Portico Entrance	2020	\$ 282,000.00	1850	National Historic Site	Municipal Government Building
Wnchywood Library--Carneige Library	2020	\$ 1,500,000.00	1916	Ontario Heritage Trust	
Fort York - Cedar Roof Replacement	2020	\$ 250,000.00	1812	National Historic Site	
Fort York - Cedar Roof Replacement	2019	\$ 400,000.00	1812	National Historic Site	
Kingston General Hospital	2018	\$ 562,000.00	1863	National Historic Site	Functioning Hospital
Carneige Library, Brampton	2018	\$ 600,000.00	1907	Ontario Heritage Trust	
The York Club	2018	\$ 585,000.00	1889	Ontario Heritage Trust	Private Club
Fort York - Masonry Restoration	2018	\$ 305,000.00	1812	National Historic Site	
Spadina Museum	2018	\$ 150,000.00	1905	Toronto Heritage Act	Museum
Metropolitan Anglican Church, Toronto	2017	\$ 225,000.00	1887	Ontario Heritage Trust	Operational Church
Goulding Estates	2017	\$ 400,000.00	1920's	Ontario Heritage Trust	Children's Theatre
Kingston General Hospital Connel Wing & Watkins Wing	2017	\$ 1,530,000.00	1863	National Historic Site	Functioning Hospital
Paul Martin Building, Windsor	2017	\$ 2,700,000.00	1933	Ontario Heritage Trust	Federal Government Building
Upper Beverley, Toronto Community Housing	2017	\$ 1,000,000.00	1920	Toronto Heritage Act	Occupied Residential Homes
Dundurn Castle - Coach House	2017		1870	National Historic Site	
Victorial Hall--Cobourg City Hall	2016	\$ 150,000.00	1850	National Historic Site	Municipal Government Building
14 Gable Lane	2015	\$ 285,000.00	1870	City of Kingston	Mental Hospital
Cambridge Firehall Museum	2015	\$ 515,000.00	1898	Ontario Heritage Trust	Firehall Museum
365 Queen St, Toronto	2015	\$ 350,000.00	c1878	Toronto Heritage Act	
Eva Brook Donly Musuem	2015	\$ 210,000.00	1840	Ontario Heritage Trust	
Spadina Stables, Casa Loma	2015	\$ 285,000.00	1905	Toronto Heritage Act	
Erchless Estates Museum	2014	\$ 485,000.00	1856	Ontario Heritage Trust	Museum
Legislative Assembly of Ontario	2014	\$ 1,900,000.00	1893	Ontario Heritage Trust	Provincial Government Building
Sisters of St Josephs	2014	\$ 1,000,000.00	1885	Ontario Heritage Trust	
St Christopher House	2013	\$ 210,000.00	1901	Ontario Heritage Trust	Occupied Halfway House
Victorial Hall--Cobourg City Hall	2013	\$ 200,000.00	1850	National Historic Site	Municipal Government Building
North Perimeter Wall, Parliament Hill	2012	\$ 1,800,000.00	1900	National Historic Site	Occupied Street
Alderlea Estates	2012	\$ 650,000.00	1865	Ontario Heritage Trust	
Soldiers Tower, U of T	2011	\$ 350,000.00	1924	Ontario Heritage Trust	University Campus
Royal York 2010	2011	\$ 1,800,000.00	1929	Toronto Heritage Act	Occupied Hotel
St Thomas Mental Hospital	2011	\$ 550,000.00	1929	Ontario Heritage Trust	Occupied Hospital
Fire Hall #227, Toronto	2011	\$ 1,500,000.00	1906	Toronto Heritage Act	Occupied Fire House
YWCA, Elm St, Toronto	2011	\$ 750,000.00	1848	Ontario Heritage Trust	
John Gibson House	2010	\$ 240,000.00	1848	Ontario Heritage Trust	Occupied Halfway House
Victoria Memorial Musuem	2009	\$ 2,300,000.00	1912	National Historic Site	
St. Andrews Church	2009	\$ 870,000.00	1876	Ontario Heritage Trust	Occupied Church
Brock's Monument	2008	\$ 850,000.00	1856	National Historic Site	Public Park
Royal York Phase 1	2008	\$ 900,000.00	1929	Toronto Heritage Act	Occupied Hotel
Cathcart Tower	2008	\$ 1,400,000.00	1848	National Historic Site	Public Park
14 Gable Lane	2007	\$ 205,000.00	1870	City of Kingston	Mental Hospital
Whitney Block Phase 6	2007	\$ 6,100,000.00	1925	Toronto Heritage Act	Office to the Premier
Fort Henry	2007	\$ 2,600,000.00	1832	National Historic Site	Tourist Attraction
Brockville Courthouse	2007	\$ 1,860,000.00	1842	Ontario Heritage Trust	Occupied Government
334 King St E	2007	\$ 850,000.00	1911	Toronto Heritage Act	
Volunteer Monument	2007	\$ 595,000.00	1870	Ontario Heritage Trust	University Campus
Centre for Addiction	2007	\$ 550,000.00	1851	Ontario Heritage Trust	Occupied Hospital
Library of Parliament	2006	\$ 7,400,000.00	1876	National Historic Site	Occupied Federal Government
High Level Pumping Station	2006	\$ 1,277,000.00	1906	Toronto Heritage Act	Functioning Water Treatment Plant
WJ Morrish Store	2006	\$ 600,000.00	1891	Ontario Heritage Trust	
St. Paul's Anglican Church	2005	\$ 2,188,000.00	1860	Ontario Heritage Trust	Occupied Church
RC Harris Filtration Plant	2005	\$ 1,940,000.00	1937	Ontario Heritage Trust	Functioning Water Treatment Plant
Pinewood Centre	2005	\$ 600,000.00	1929	Ontario Heritage Trust	Occupied Rehab Facility
		<b>\$ 64,828,500</b>			

## C - REFERENCE DRAWINGS



Figure. B.1. Proposed rendering  
Provided by KLM Planning



Figure C.1. Existing north elevation, 1:100





Figure C.2. Proposed north elevation, 1:100



Figure. C.3. Existing east elevation, 1:100



Figure. C.4. Proposed east elevation, 1:100



Figure. C.5. Existing south elevation, 1:100



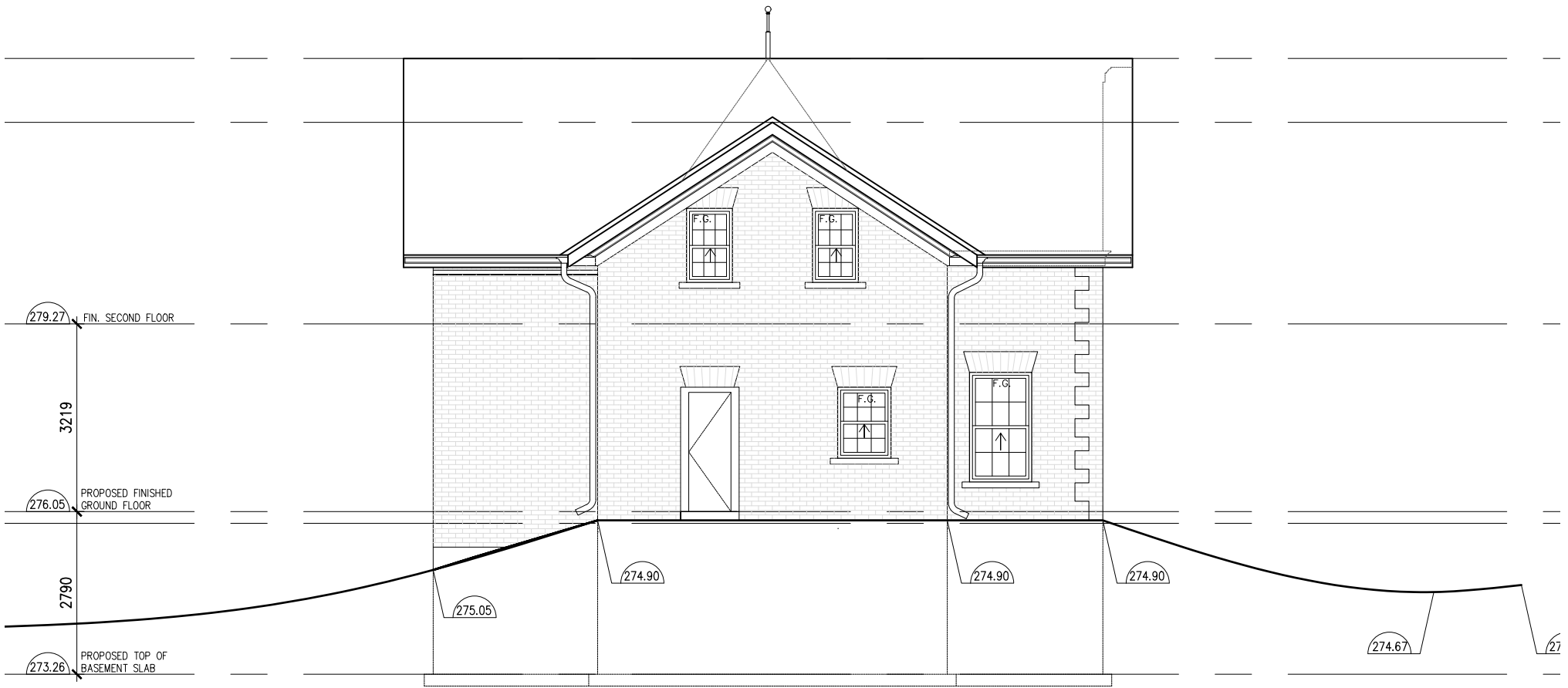


Figure. C.6. Proposed south elevation, 1:100



Figure C.7. Existing west elevation, 1:100



Figure. C.8. Proposed west elevation, 1:100

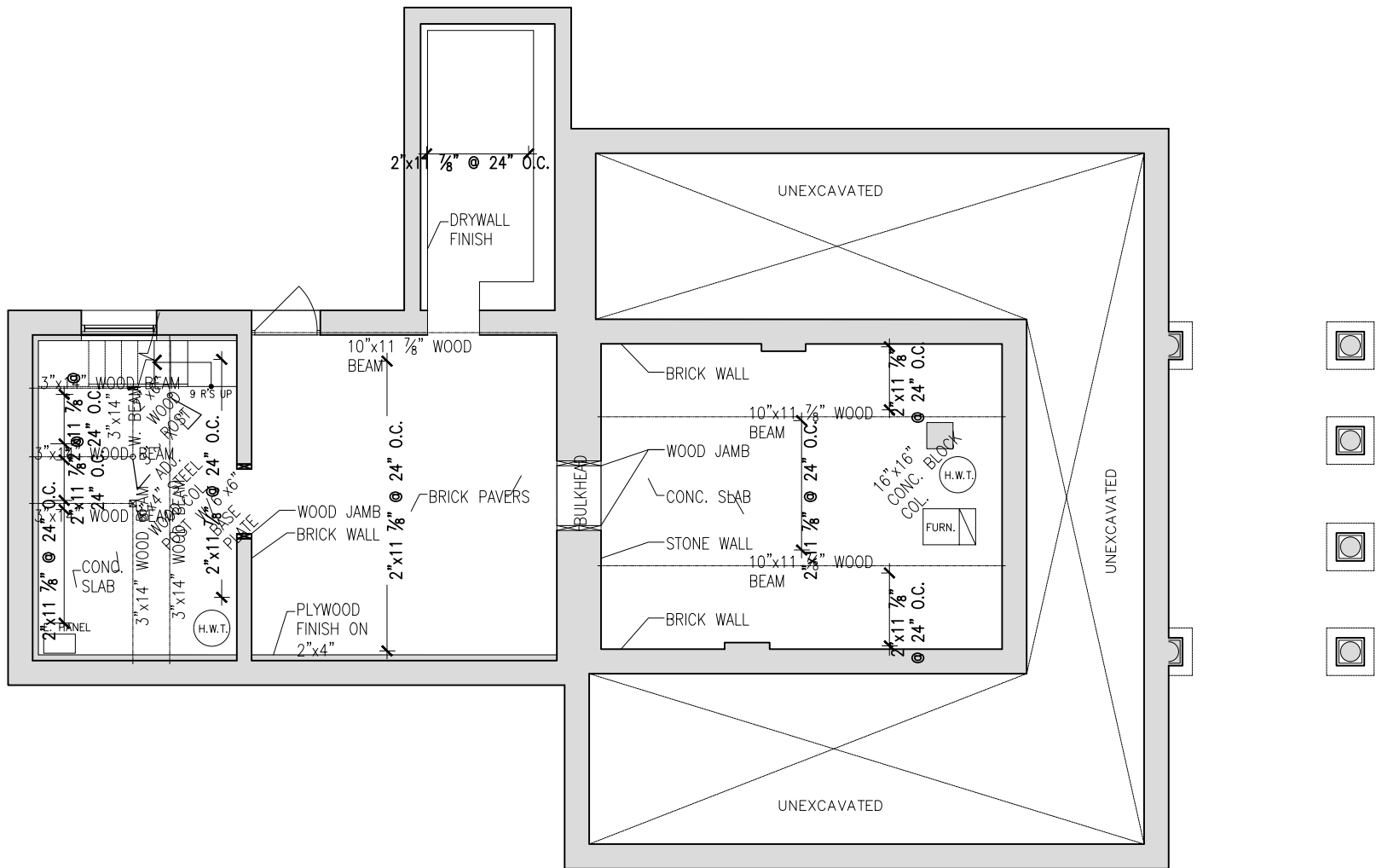


Figure. C.9. Existing basement plan, 1:100





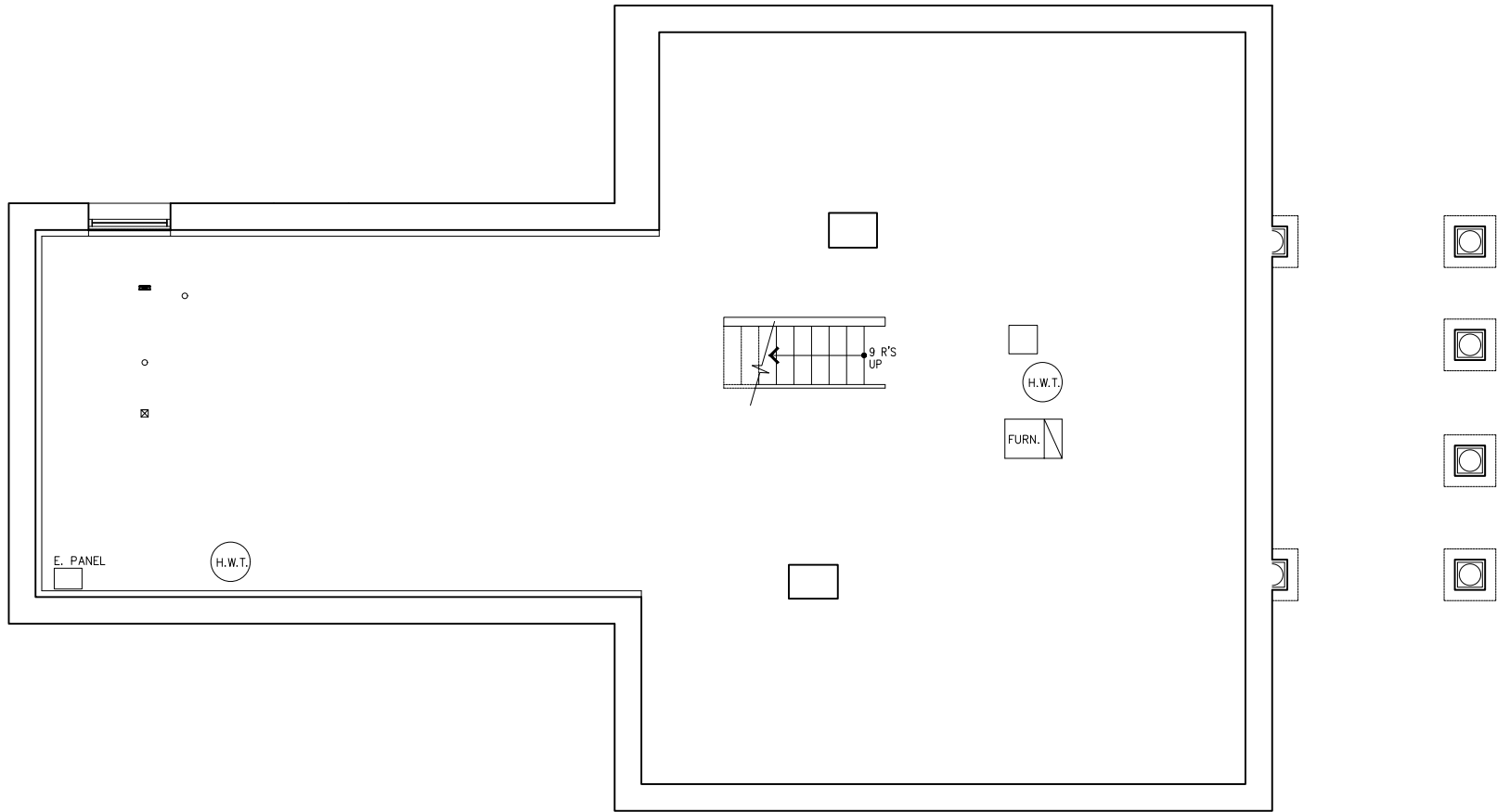


Figure. C.10. Proposed basement plan, 1:100

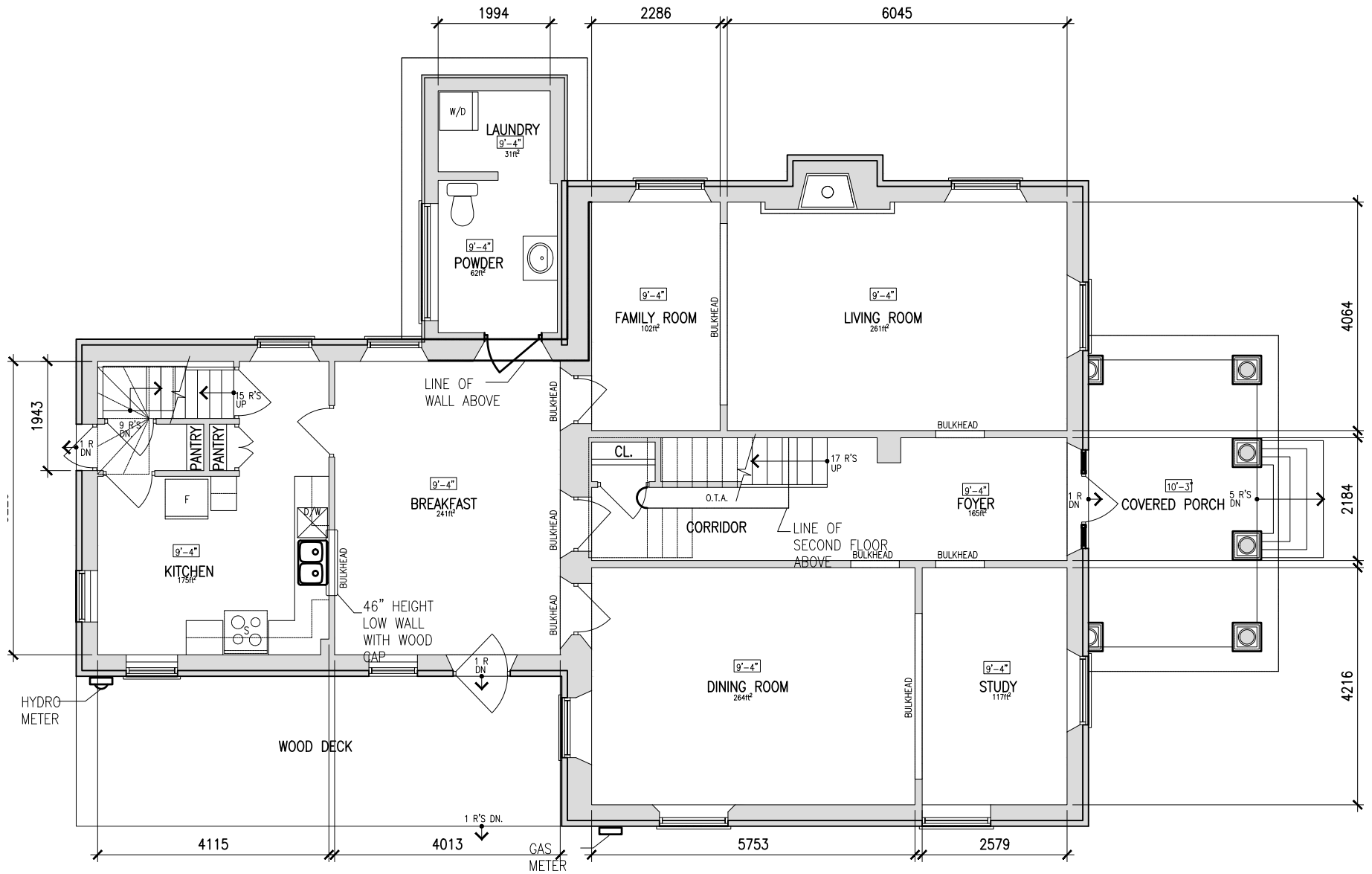


Figure C.11. Existing ground floor plan, 1:100



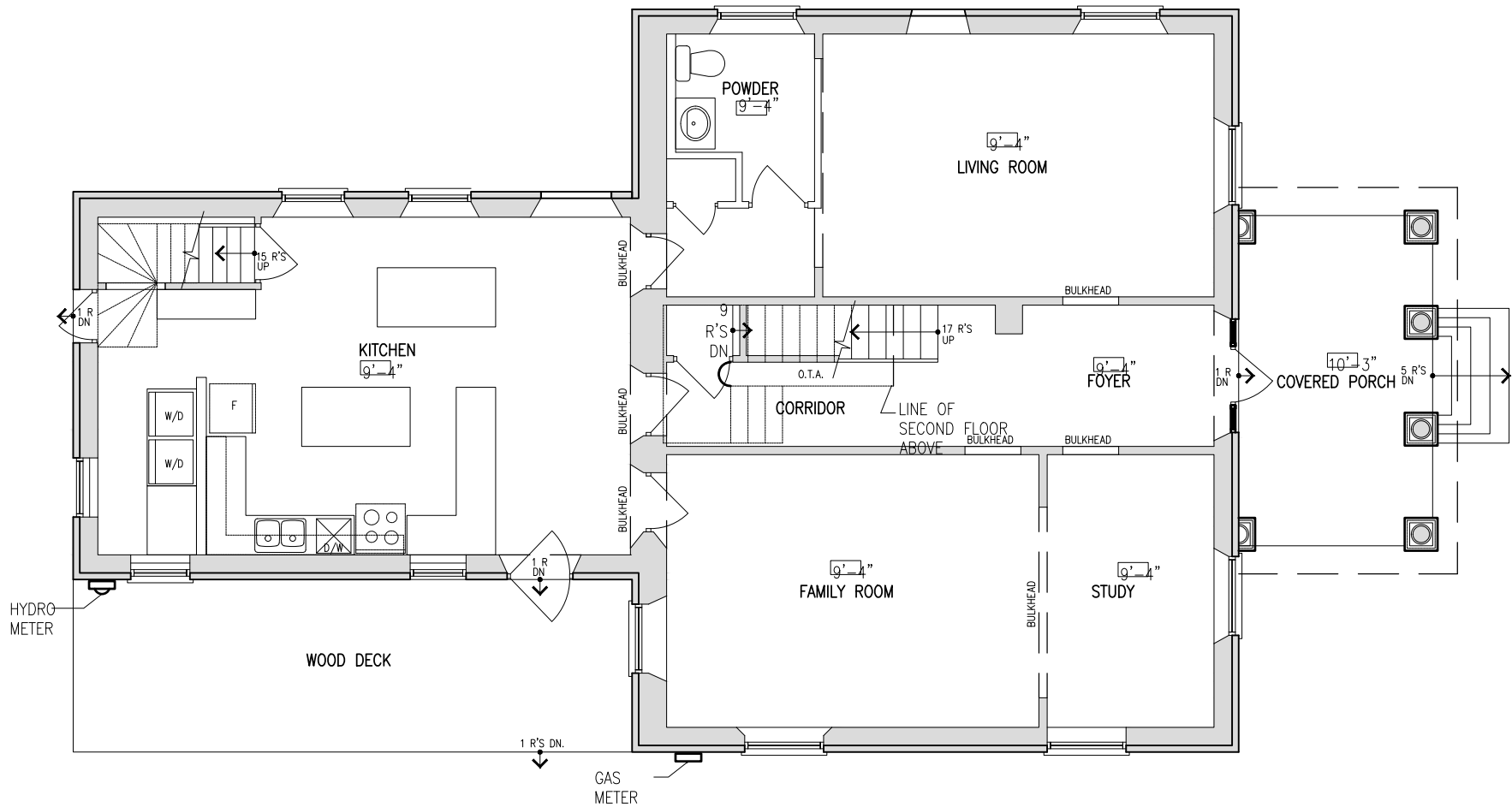


Figure C.12. Proposed ground floor plan, 1:100

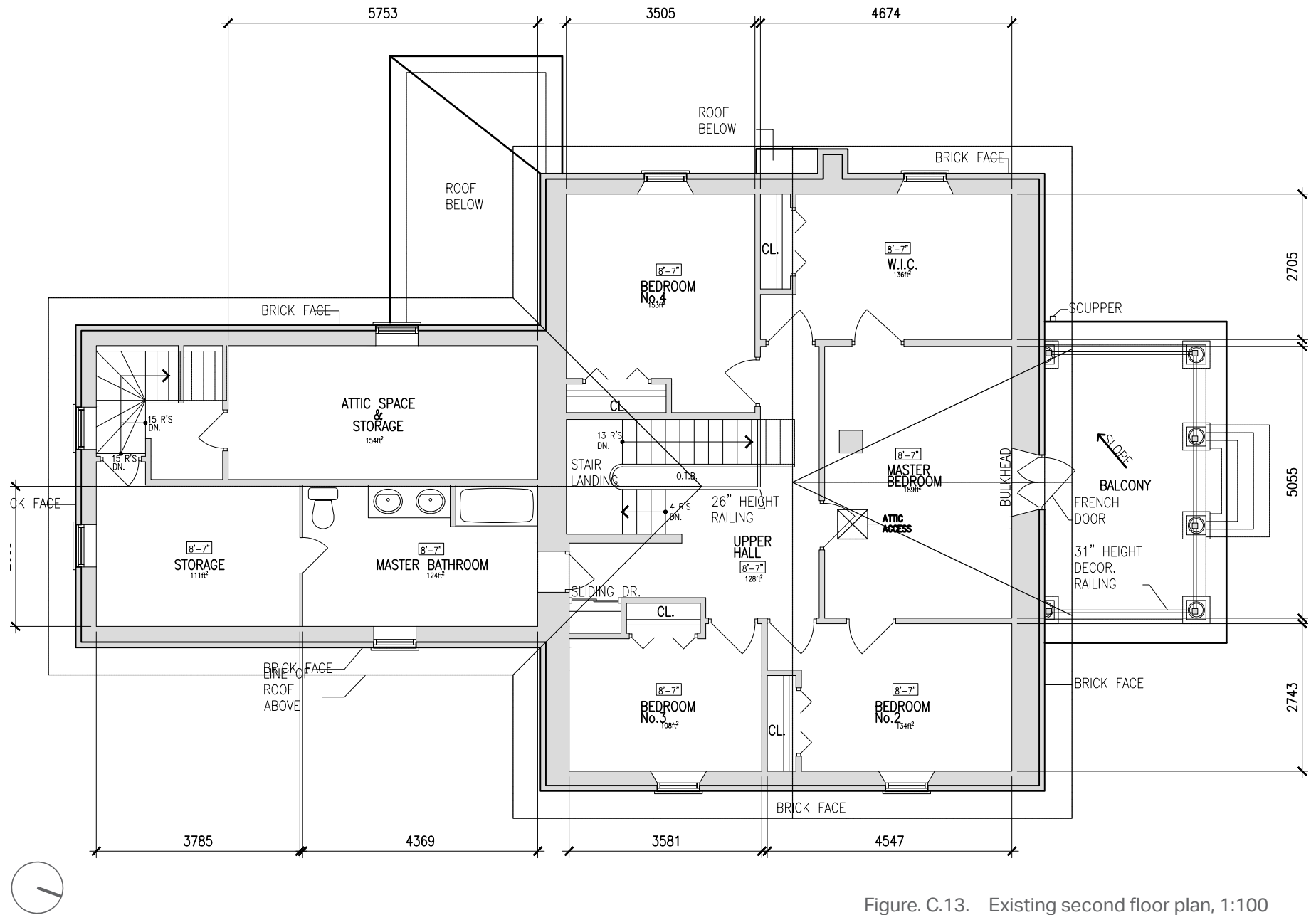


Figure C.13. Existing second floor plan, 1:100



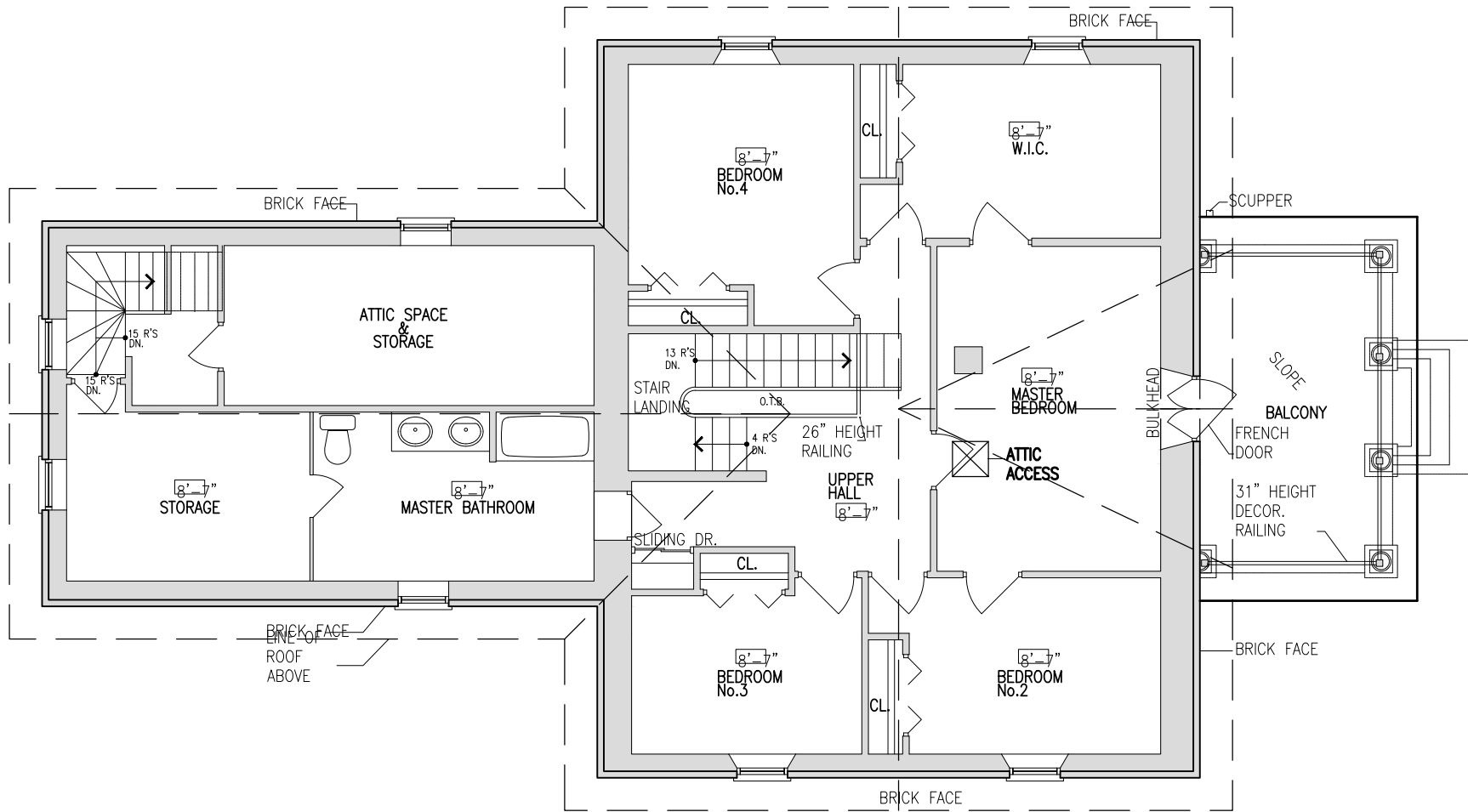


Figure C.14. Proposed second floor plan, 1:100

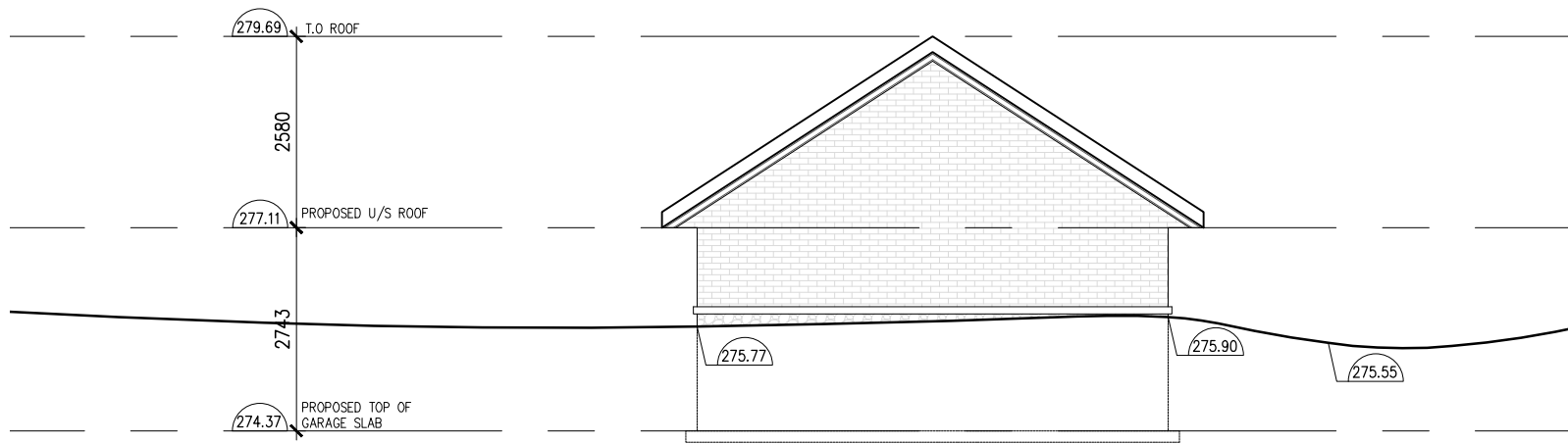


Figure C.15. Proposed Garage east elevation, 1:100

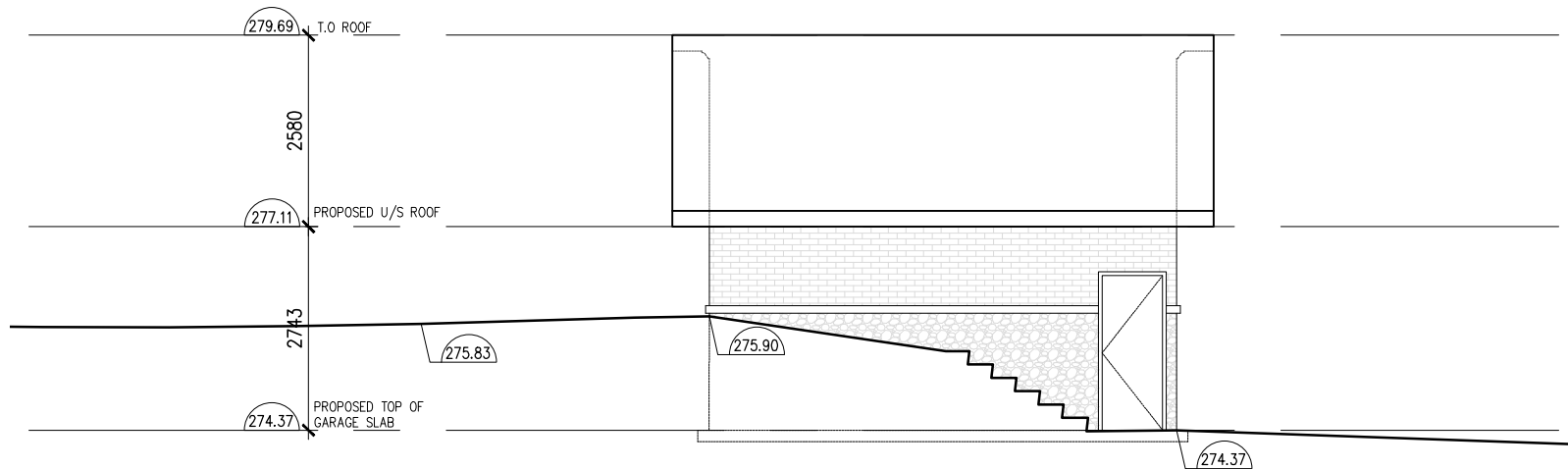


Figure C.16. Proposed Garage south elevation, 1:100

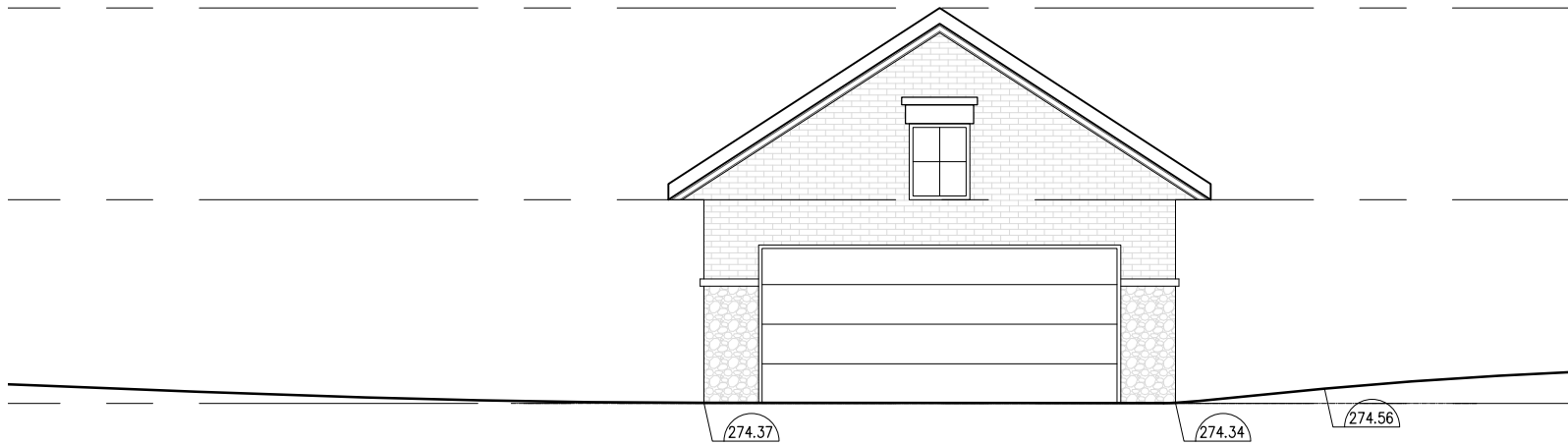


Figure C.17. Proposed Garage west elevation, 1:100

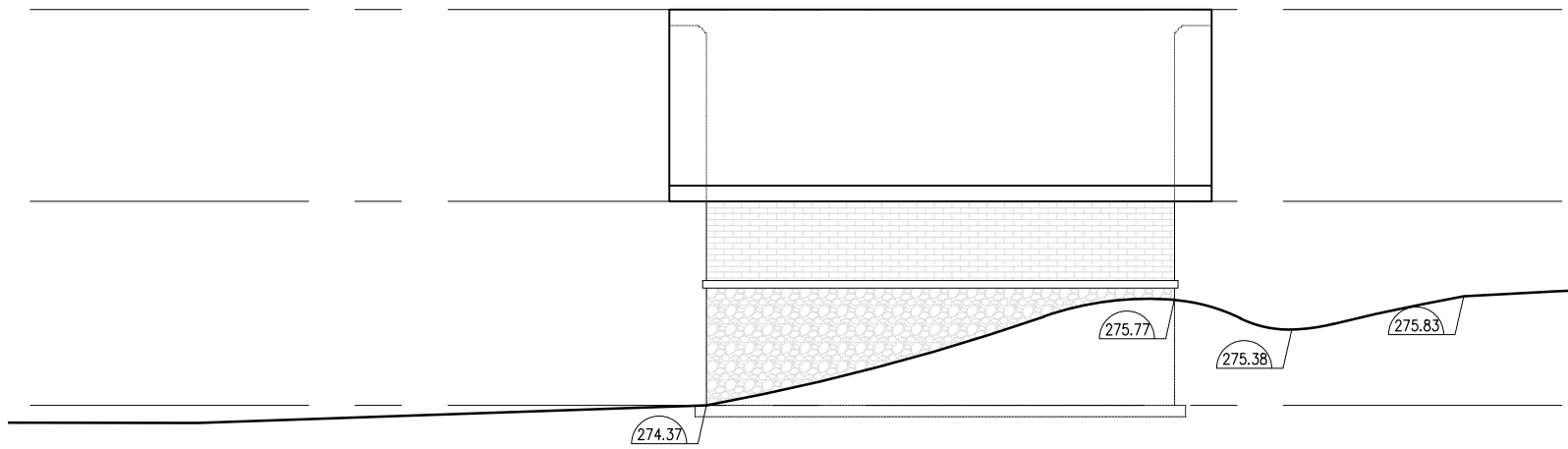


Figure C.18. Proposed Garage north elevation, 1:100

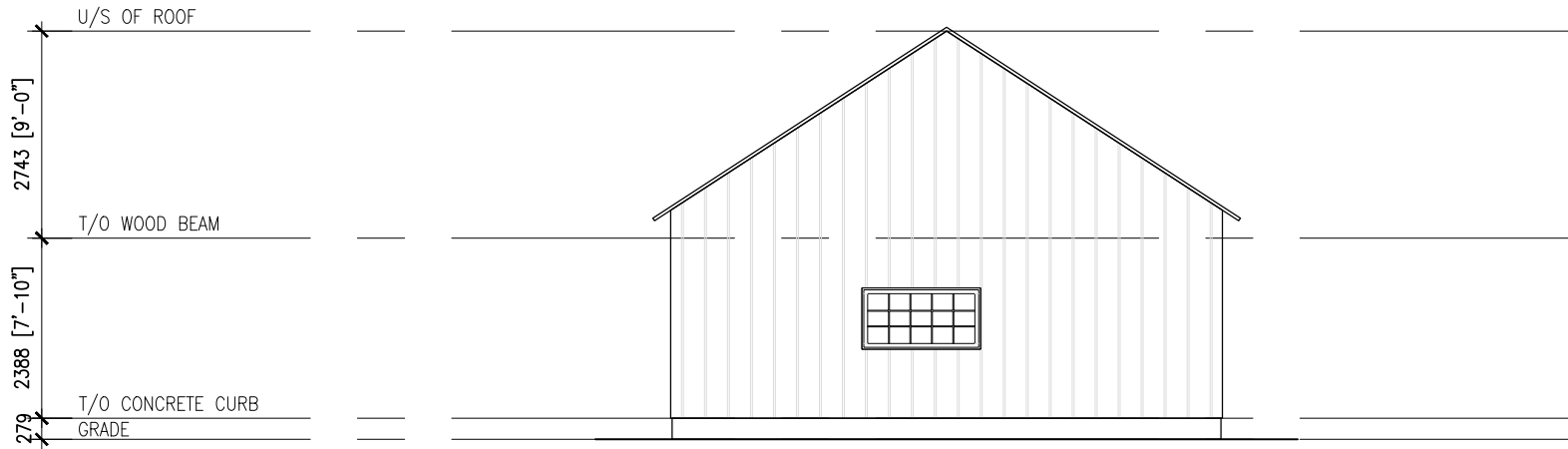


Figure. C.19. Driveshed north elevation, 1:100

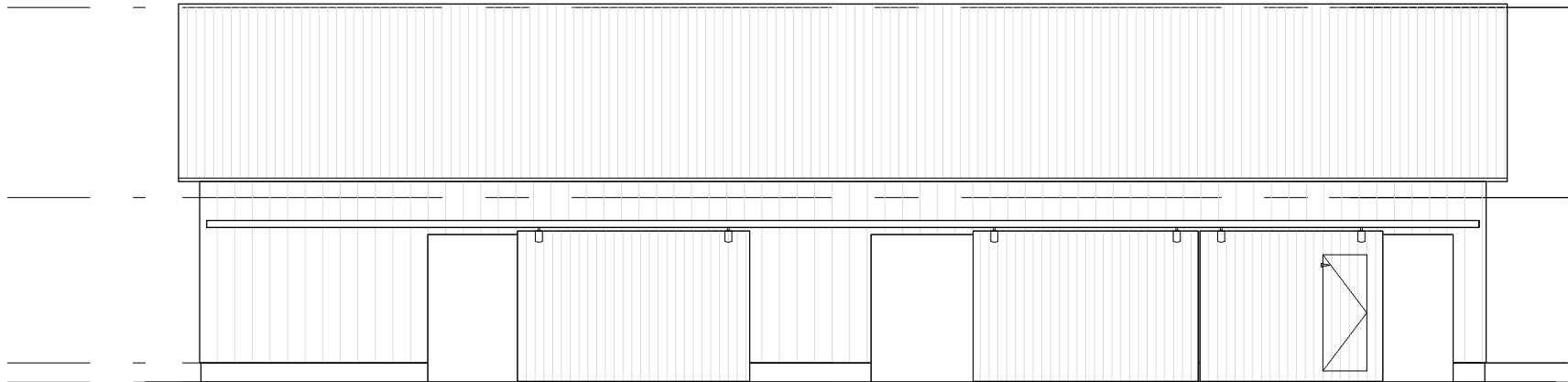


Figure. C.20. Driveshed east elevation, 1:100



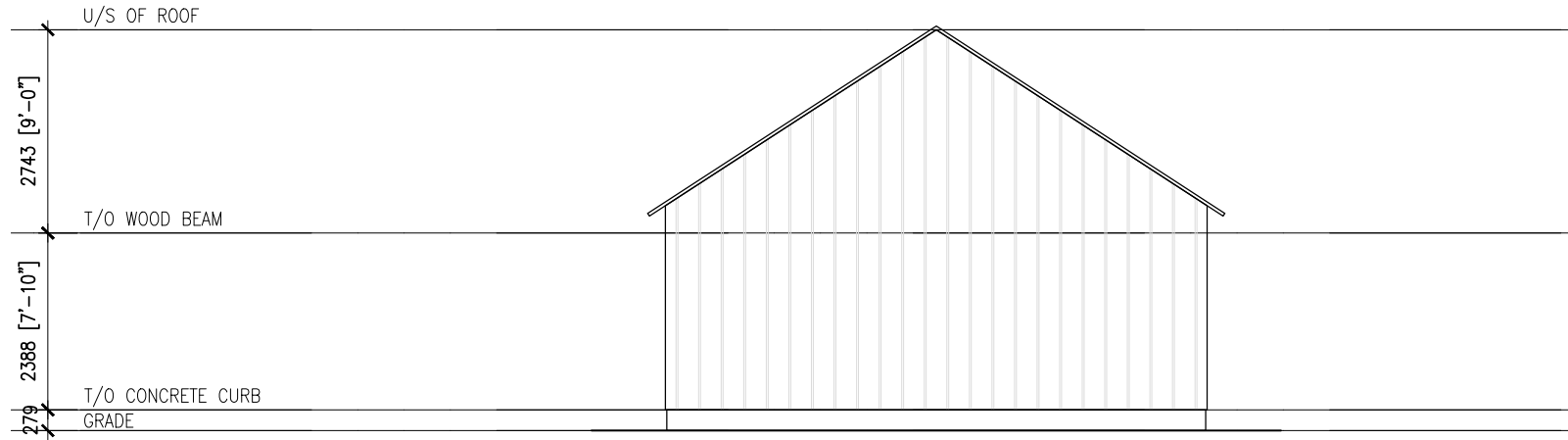


Figure. C.21. Driveshed south elevation, 1:100

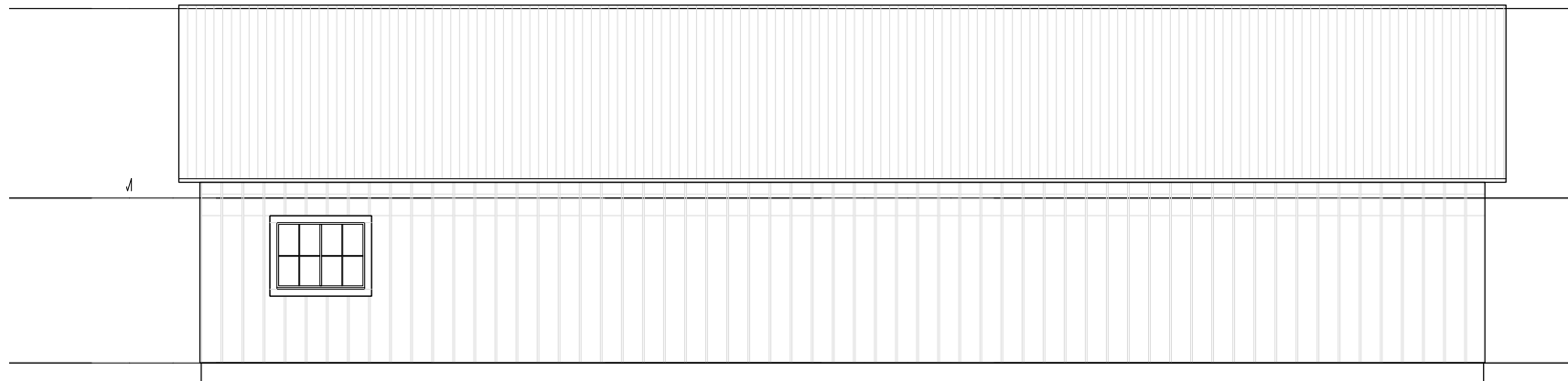


Figure. C.22. Driveshed west elevation, 1:100

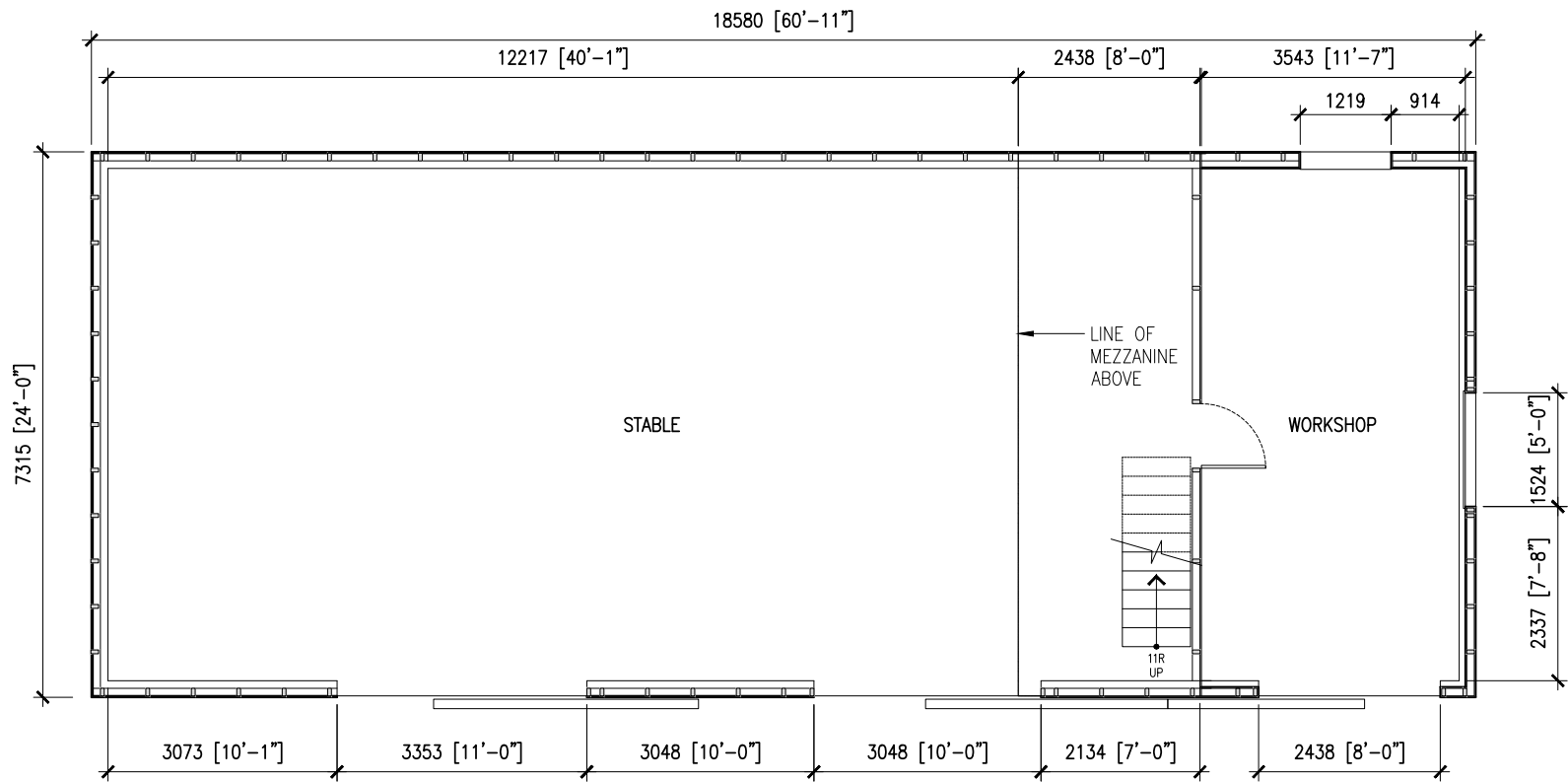


Figure. C.23. Driveshed existing plan, 1:100



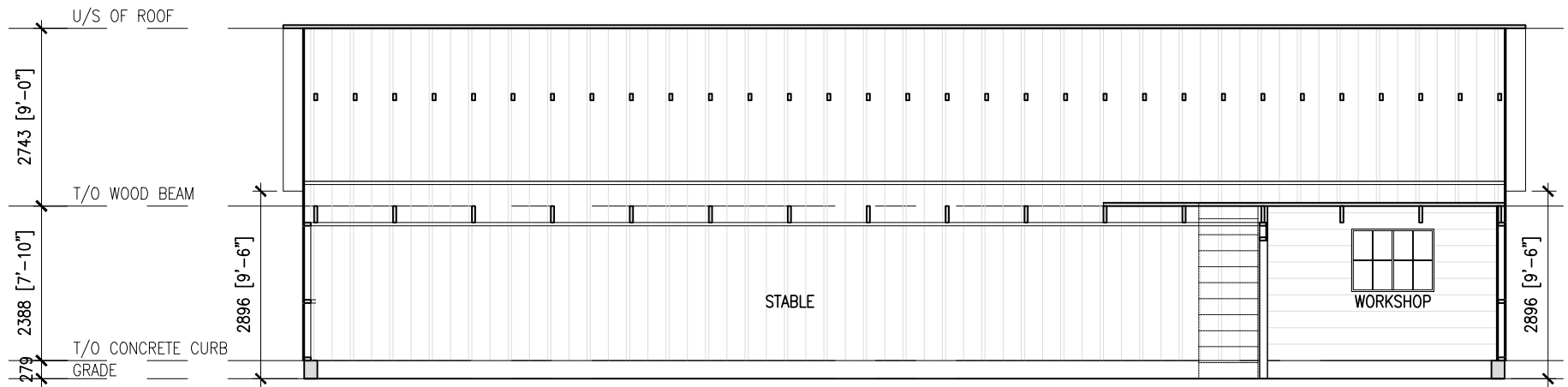


Figure C.24. Driven shed longitudinal section, 1:100











# D - RELOCATION PLAN

## Facet Group Inc.

716 – 228 Queens Quay West  
Toronto, Ontario M5J 2X1  
T 416-409-0772 | F 647-349-2453  
[www.facetgroup.ca](http://www.facetgroup.ca)

June 09, 2021

Gaiimo  
Ria Al-Ameen  
c/o Laurie McCulloch Building Moving  
960 Taunton Rd. E.  
Whitby, Ontario L1R 3L8

**Re: Gould House, 62 Mill Street, Uxbridge – Building Relocation  
Facet Group Inc. project no. 202116**

Dear Ria Al-Ameen,

We have been retained by Laurie McCulloch Building Moving to provide professional services related to the building relocation at 62 Mill Street, Uxbridge, Ontario.

We understand you wish to preserve and relocate the original T-shaped plan heritage building. The later small west elevation single storey addition, and the east elevation wood deck, are to be removed prior to the relocation. The north (principal) elevation porch roof is to be retained. The north elevation porch deck and columns are to be catalogued and salvaged prior to the relocation.

See below our findings, and structural strategy for the relocation of the heritage building, refer to Facet Group, Issued for Conservation Plan drawings, dated 10JUN2021.

62 Mill Street, circa 1866, is a one and half storey, multi wythe clay brick mass masonry building. The brick units have been installed in a common bond pattern; the above grade masonry was generally found to be in good condition.

We believe Gould House, 62 Mill Street, Uxbridge, can be relocated.

Our design will include a steel structure to support the factored loads. The structure will be comprised of north-south double main beams installed on the interior at the front portion and exterior at the rear portion of the building. To reduce the overall depth of the support structure, the east-west cross beams will be installed through openings in the webs of the main beams. Needle beams and blocking will be installed where required. The top of the steel structure will be installed at the base of the clay brick, below the existing ground floor framing.

Once supported and separated from its foundation, the building will be lifted using synchronized hydraulics and moved along the engineered route of travel using dollies. The building will be positioned and lifted to its final elevation. Temporary timber cribs will be installed to support the main beams and allow for the removal of the dollies.

The above design and methodology will ensure the protection of the heritage fabric for the duration of construction. Our design allows for the new foundation to be constructed after the building has been relocated. The removal of the relocation steel structure and infill of the beam pockets will be sequenced with the new construction.

We are pleased to provide the above for your review and discussions with the Town of Uxbridge, as part of the Heritage and Development approval process. We are available to meet to further discuss our findings and approach for the redevelopment of 62 Mill Street, Uxbridge.

Best regards,



Neil Puype  
Principal





**NOTES:**

**1. GENERAL**

- 1.1 WHERE DOCUMENTS ARE REFERENCED IN THE GENERAL AND DESIGN NOTES, THEY SHALL BE THE LATEST EDITIONS, UNLESS OTHERWISE NOTED OR SHOWN.
- 1.2 READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS.
- 1.3 BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST CHECK ALL THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS AGAINST ACTUAL SITE CONDITIONS. CONTRACTOR IS TO REPORT ANY DISCREPANCIES TO THE CONSULTANT.

**2. DESIGN**

- 2.1 THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE AND THE NATIONAL BUILDING CODE OF CANADA 2015
- 2.2 ALL REINFORCED CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH A23.3, DESIGN OF CONCRETE STRUCTURES.
- 2.3 ALL STRUCTURAL STEEL ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CAN/CSA-S16-09, LIMIT STATES DESIGN OF STEEL STRUCTURES.
- 2.4 FAÇADE TIES AND TEMPORARY FAÇADE RETENTION STEEL ARE DESIGNED TO RESIST THE FOLLOWING DESIGN PARAMETERS.
  - 2.4.1 WIND LOADS  $q = 0.53kPa$ ,  $C_e$ ,  $C_p$  AND  $C_{pi}$  ARE CALCULATED BASED ON THE USER'S GUIDE - NBCC - STRUCTURAL COMMENTARIES (PART 4 OF DIVISION B).
  - 2.4.2 LATERAL LOAD ASSESSED AS ARISING FROM OFFSET AND OUT-OF-PLUMB OF THE FAÇADE AT THE LEVEL OF THE CONNECTION BEING CONSIDERED: 2.5% OF FAÇADE WEIGHT RESTRAINED BY THE CONNECTION.
- 2.5 A LATERAL DEFLECTION LIMIT OF HEIGHT 1/750.
- 2.6 FACTORS OF SAFETY AGAINST OVERTURNING AND SLIDING OF TWO (2) CONSIDERED IN THE DESIGN OF THE TEMPORARY RETENTION STEEL FRAME SUPPORTS.

**3. LOADING**

- 3.1 BUILDING DEAD LOAD: 800,000 lb (365,000 kg)
- 3.2 RELOCATION STEEL: 100,000 lb (45,000 kg)
- 3.3 SURPLUS LOADING DUE TO INTERIOR FIXTURES: 100,000 lb (45,000 kg)
- 3.4 FACTORED LOADING AT CRIBS: 4,000 psf (215 kPa)

**4. FOUNDATION WALL CLEARANCES TO TEMPORARY SUPPORT BEAMS**

- 4.1 UNDERSIDE OF MAIN BEAMS: 500mm
- 4.2 SIDES OF MAIN BEAMS: 300mm
- 4.3 UNDERSIDE OF CROSS AND NEEDLE BEAMS: 150mm
- 4.4 SIDES OF CROSS AND NEEDLE BEAMS: 150mm

**5. PROTECTION AND SELECTIVE REMOVALS**

- 5.1 INSTALL 10mm NEOPRENE BETWEEN TEMPORARY SUPPORT STEEL AND MASONRY
- 5.2 COMPLETE SELECTIVE MASONRY REMOVALS PRIOR TO BUILDING RELOCATION, REFER TO ERA ARCHITECTS DRAWINGS
- 5.3 COMPLETE WINDOW AND DOOR PROTECTION PRIOR TO BUILDING RELOCATION, SEE ERA ARCHITECTS DRAWINGS

**SHEETS:**

- HS-2: SECOND LEVEL FLOOR PLAN  
GROUND LEVEL FLOOR PLAN  
BASEMENT FLOOR PLAN
- HS-3: BEAM POCKETS THROUGH FOUNDATION: NORTH ELEVATION  
BEAM POCKETS THROUGH FOUNDATION: WEST ELEVATION  
BEAM POCKETS THROUGH FOUNDATION: SOUTH ELEVATION  
BEAM POCKETS THROUGH FOUNDATION: EAST ELEVATION
- HS-4: RELOCATION STEEL LAYOUT: NORTH ELEVATION  
RELOCATION STEEL LAYOUT: WEST ELEVATION  
RELOCATION STEEL LAYOUT: SOUTH ELEVATION  
RELOCATION STEEL LAYOUT: EAST ELEVATION
- HS-4: RELOCATION STEEL PLAN VIEW  
CRIBBING PLAN VIEW  
1/HS-5: EAST/WEST RELOCATION STEEL SECTION  
2/HS-5: EAST/WEST CRIBBING SECTION  
3/HS-5: NORTH/SOUTH RELOCATION STEEL SECTION  
4/HS-5: NORTH/SOUTH CRIBBING SECTION  
5/HS-5: 1500mm CRIBBING DETAIL



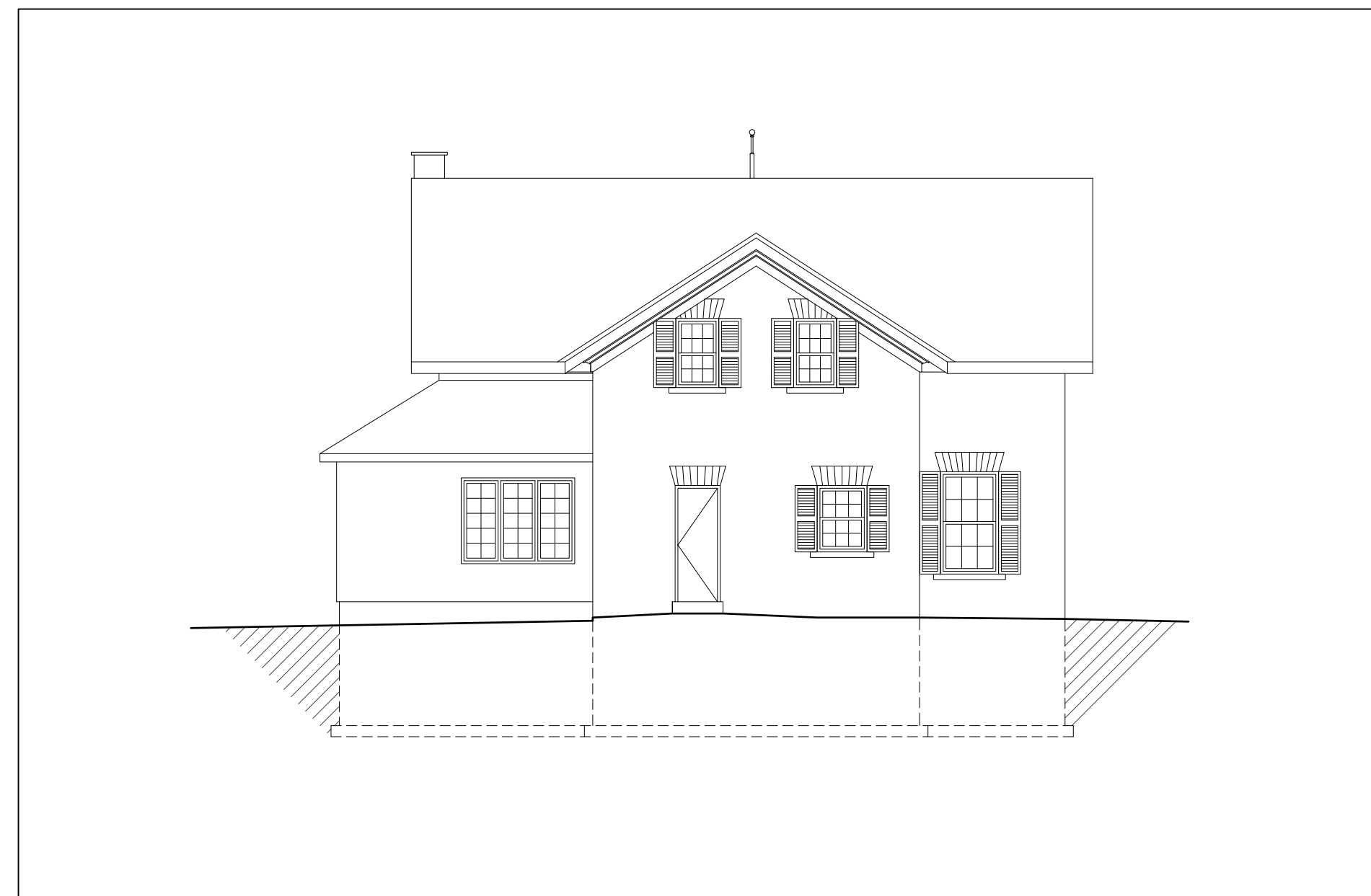
KEYPLAN  
SCALE: N.T.S.



NORTH ELEVATION  
SCALE: 1:100



WEST ELEVATION  
SCALE: 1:100



SOUTH ELEVATION  
SCALE: 1:100



EAST ELEVATION  
SCALE: 1:100

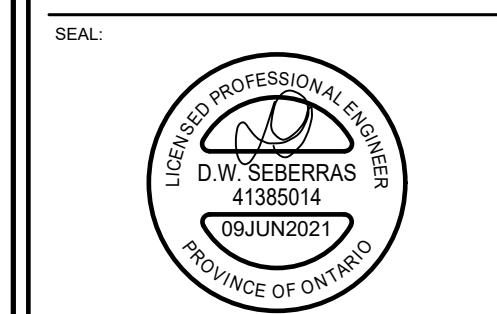
DO NOT SCALE DRAWINGS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND OMISSIONS TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER, IN PART OR IN WHOLE, FOR ANY PROJECT OTHER THAN THAT FOR WHICH IT WAS PREPARED. THIS DRAWING AND ALL DESIGN CONCEPTS THEREON, ARE AN INSTRUMENT OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF FACET GROUP INC.

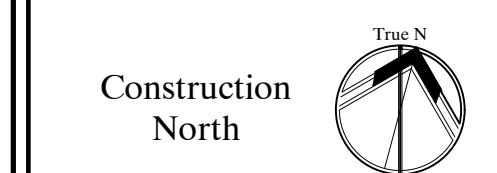
COPYRIGHT 2021

SECTION/DETAIL NUMBER  
DWG No. WHERE DETAILED

No.	Revision	Date
1	ISSUED FOR CONSERVATION PLAN	09 JUN 2021



CHECKED BY: D.S. FIRM NO: 30361  
DRAWN BY: T.M.



PROJECT LOCATION:  
62 MILL STREET  
LUXBRIDGE, ONTARIO

PROJECT DESCRIPTION:  
BUILDING RELOCATION

**Facet Group Inc.**

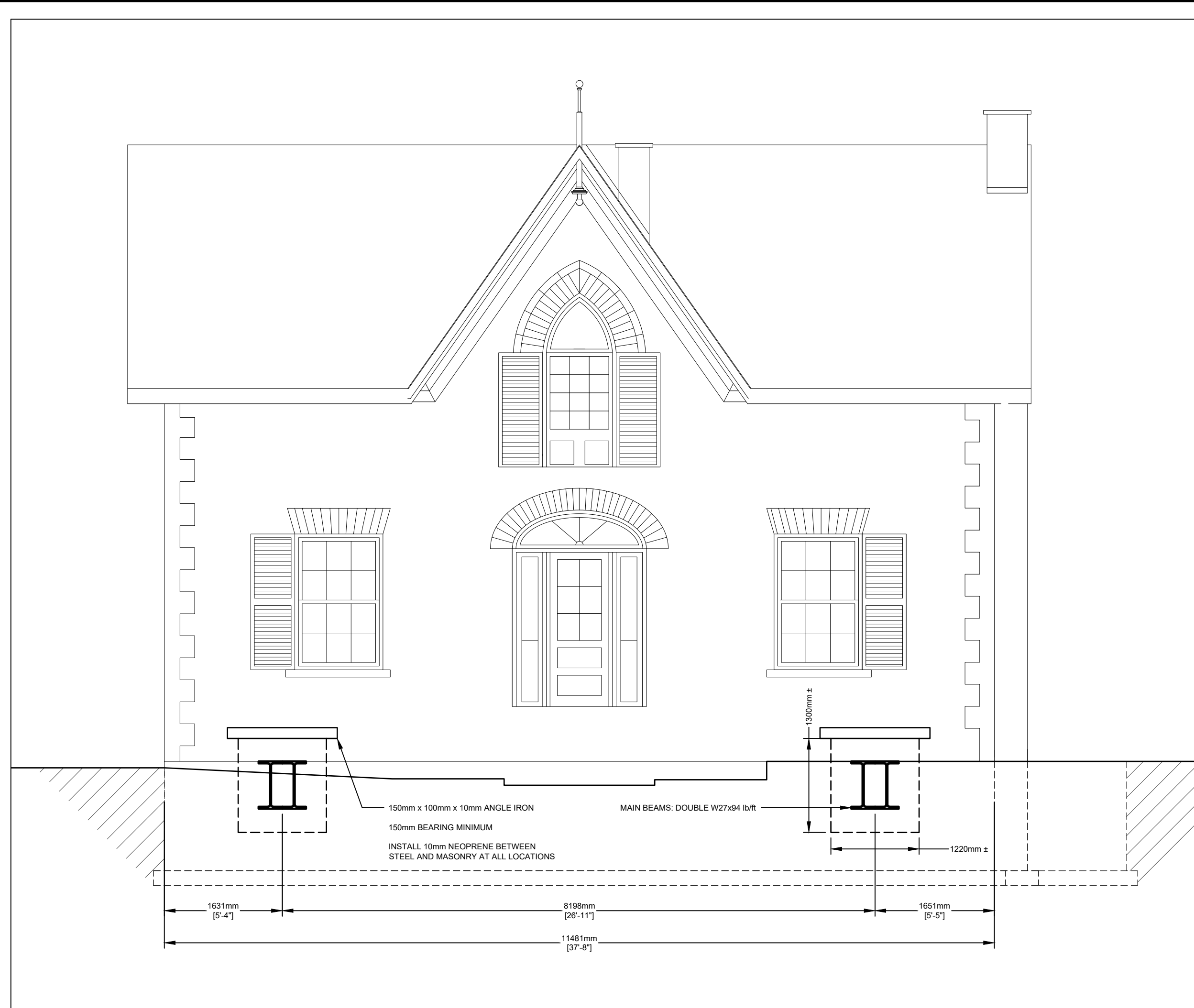
Heritage Building Consultants,  
Engineering and Project Management  
716 - 228 Queens Quay West  
Toronto, Ontario M5J 2X1  
Tel: 416-409-0772 | Fax: 647-349-2453  
www.facetgroup.ca | neil@facetgroup.ca  
David Seberras P. Eng.  
SEBERRAS PROFESSIONAL SERVICES LTD

DRAWING TITLE:  
GENERAL NOTES  
NORTH ELEVATION  
WEST ELEVATION  
SOUTH ELEVATION  
EAST ELEVATION

PROJECT NO: 202116  
SCALE: AS NOTED  
DRAWING NO: HS-1







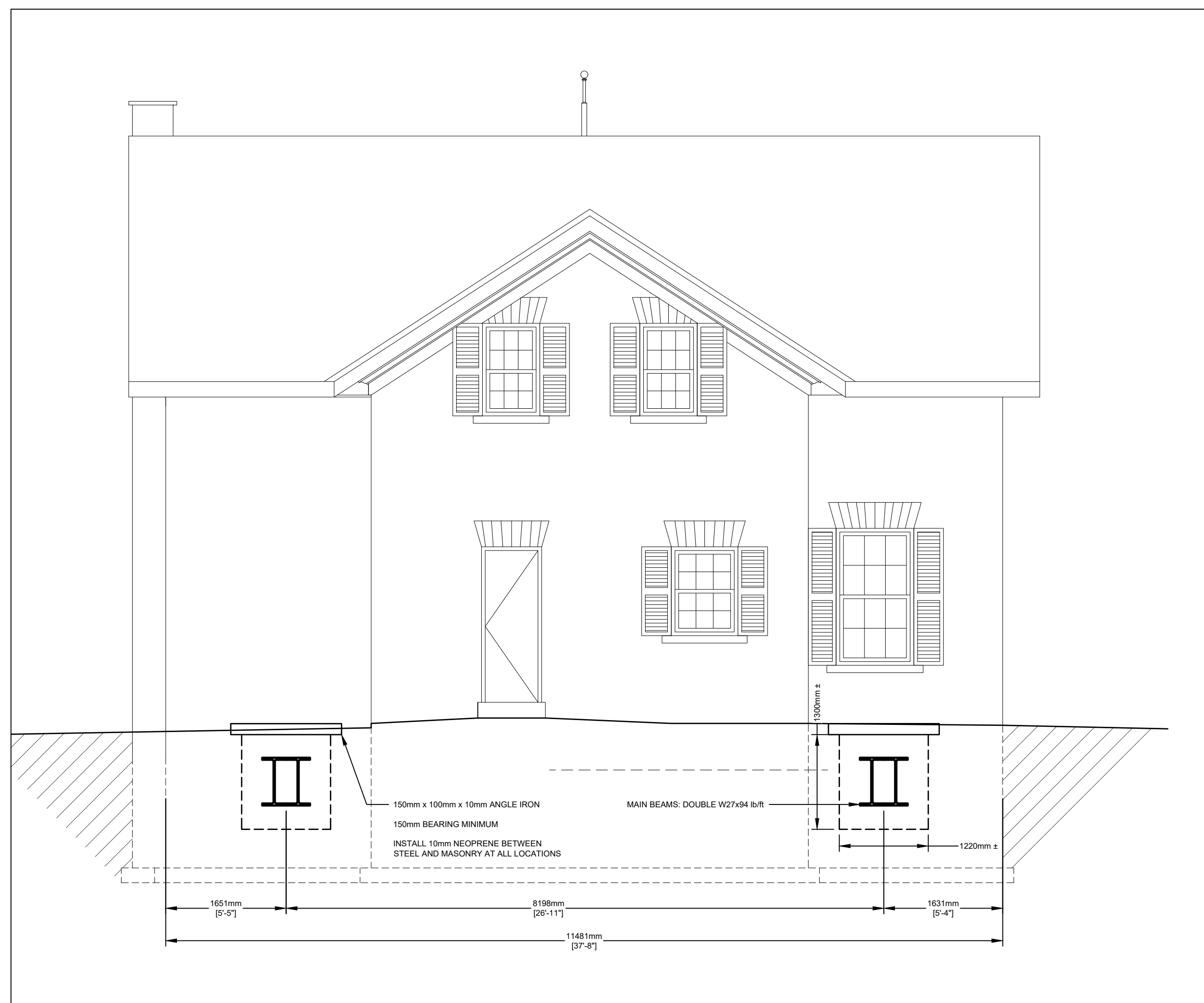
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SCALE: 1:50



BEAM POCKETS THROUGH FOUNDATION: WEST ELEVATION

SCALE: 1:50



BEAM POCKETS THROUGH FOUNDATION: SOUTH ELEVATION

SCALE: 1:50



BEAM POCKETS THROUGH FOUNDATION: EAST ELEVATION

SCALE: 1:50

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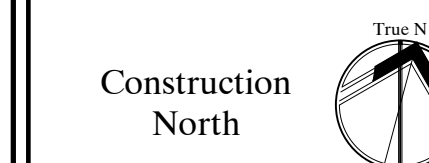
SECTION/DETAIL NUMBER  
DWG No. WHERE DETAILED

No.	Revision	Date
1	ISSUED FOR CONSERVATION PLAN	09 JUN 2021

SEAL:



CHECKED BY: D.S.  
DRAWN BY: T.M.  
FIRM NO: 30361



PROJECT LOCATION:  
62 MILL STREET  
LUXBRIDGE, ONTARIO

PROJECT DESCRIPTION:  
BUILDING RELOCATION

**Facet Group Inc.**

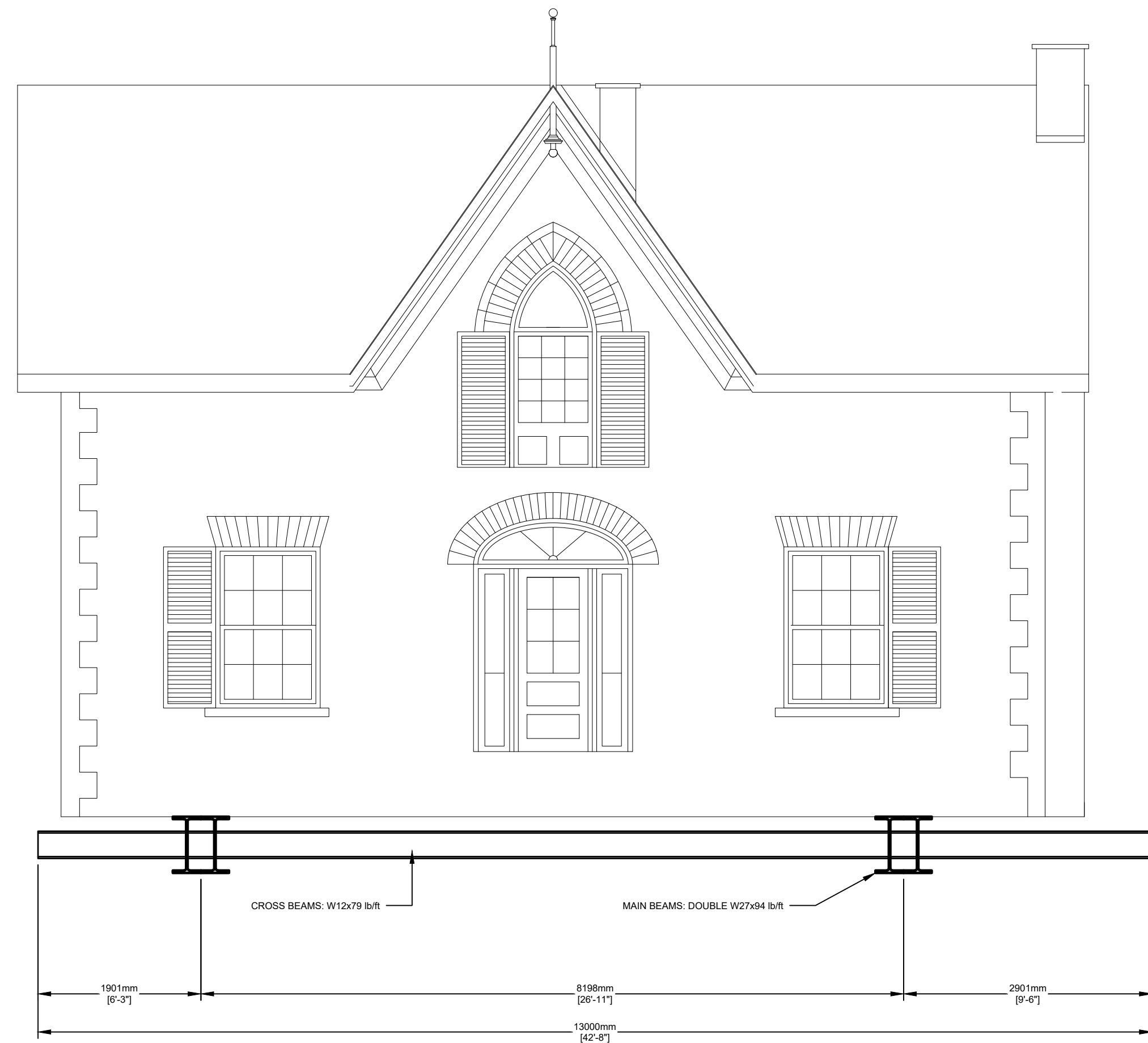
Heritage Building Consultants,  
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DRAWING TITLE:  
BEAM POCKETS THROUGH FOUND.  
NORTH ELEVATION  
WEST ELEVATION  
SOUTH ELEVATION  
EAST ELEVATION

PROJECT NO: 202116  
SCALE: AS NOTED

DRAWING NO: **HS-3**



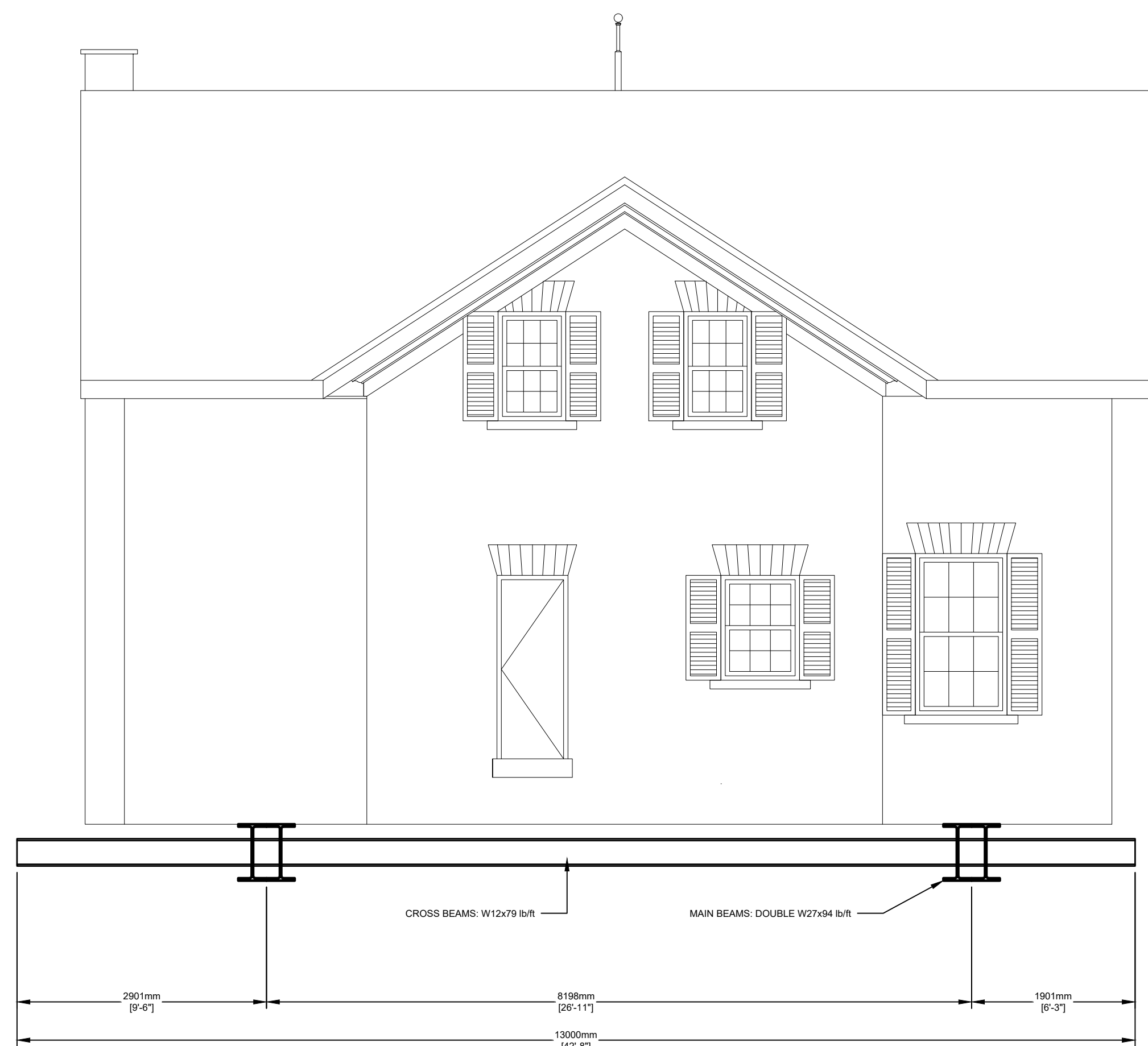
RELOCATION STEEL LAYOUT: NORTH ELEVATION

SCALE: 1:50



RELOCATION STEEL LAYOUT: WEST ELEVATION

SCALE: 1:50



RELOCATION STEEL LAYOUT: SOUTH ELEVATION

SCALE: 1:50



RELOCATION STEEL LAYOUT: EAST ELEVATION

SCALE: 1:50

DO NOT SCALE DRAWINGS.  
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SECTION/DETAIL NUMBER  
DWG No. WHERE DETAILED

No.	Revision	Date
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CHECKED BY: D.S.  
DRAWN BY: T.M.  
FIRM NO: 30361



PROJECT LOCATION:  
62 MILL STREET  
LUXBRIDGE, ONTARIO

PROJECT DESCRIPTION:  
BUILDING RELOCATION

**Facet Group Inc.**  
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Engineering and Project Management  
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SEBERRAS PROFESSIONAL SERVICES LTD

DRAWING TITLE:  
RELOCATION STEEL LAYOUT  
NORTH ELEVATION  
WEST ELEVATION  
SOUTH ELEVATION  
EAST ELEVATION

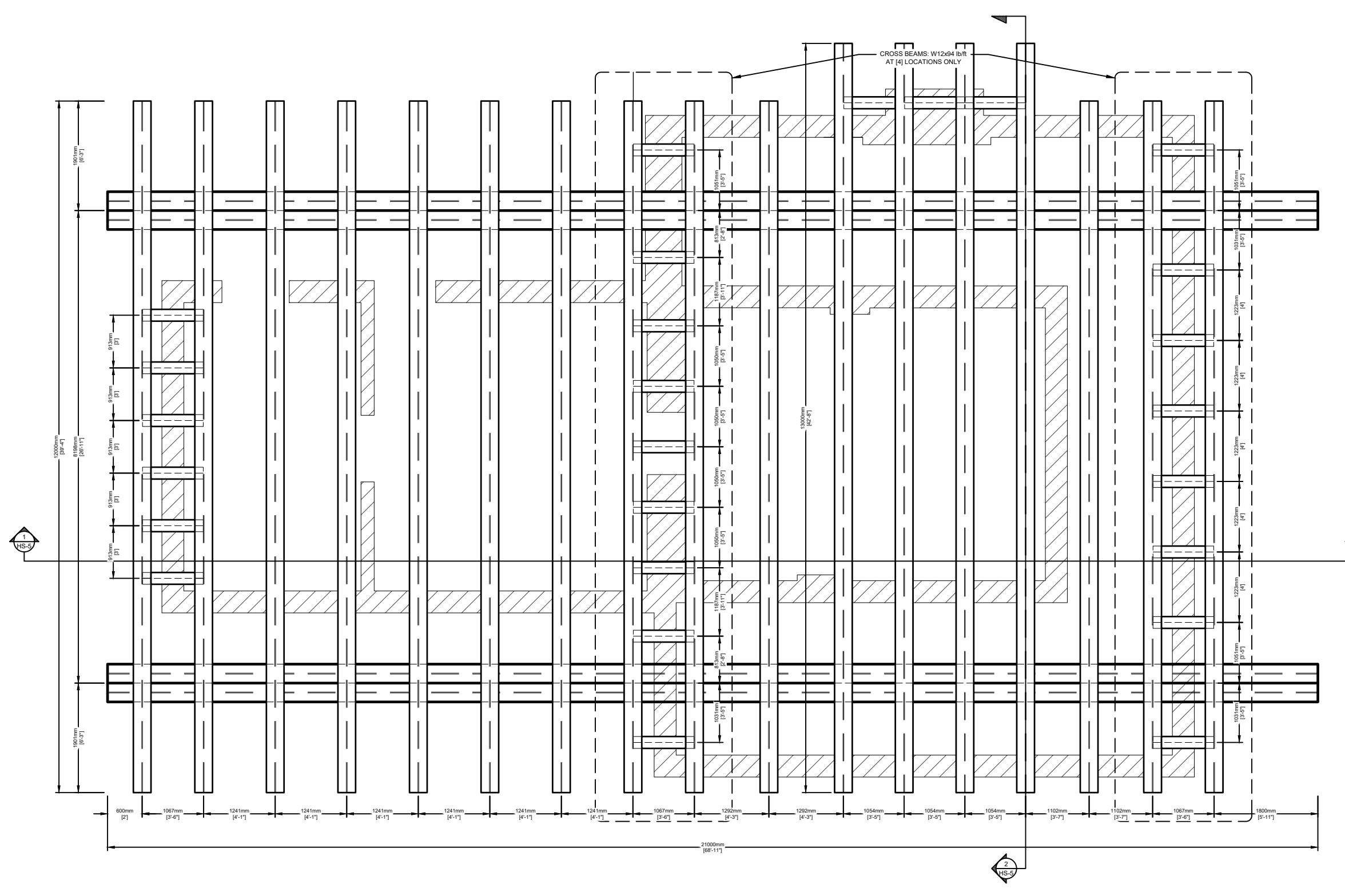
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SCALE: AS NOTED  
DRAWING NO: HS-4



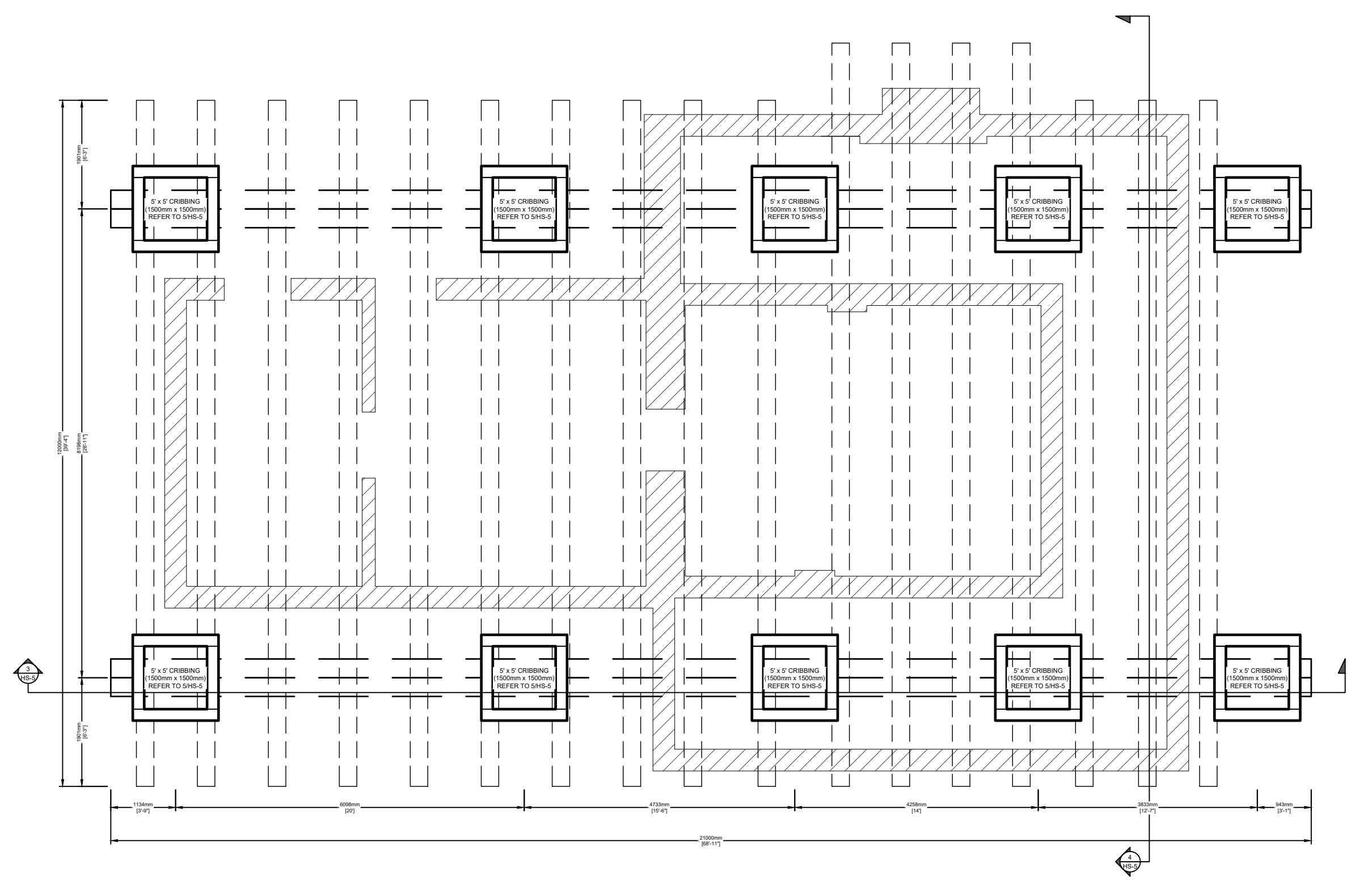
DO NOT SCALE DRAWINGS.  
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SECTION/DETAIL NUMBER  
 DWG No. WHERE DETAILED

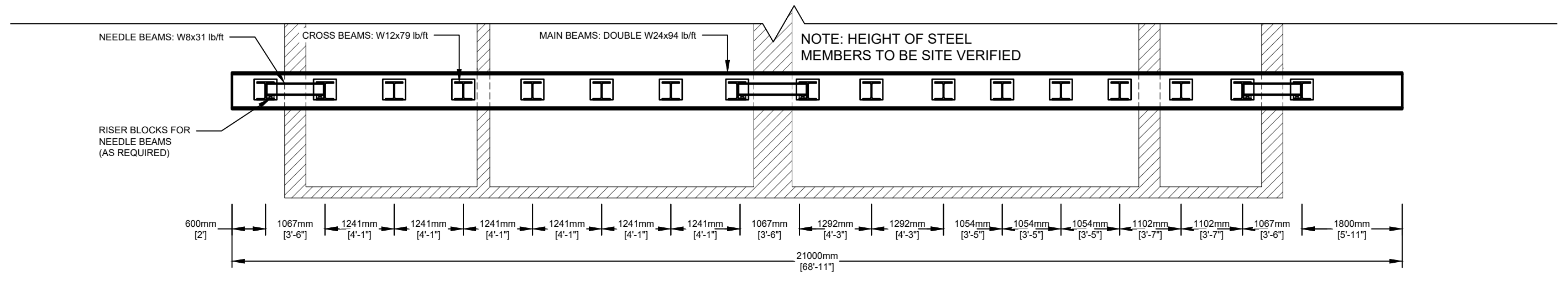
No.	Revision	Date
1	ISSUED FOR CONSERVATION PLAN	09 JUN 2021



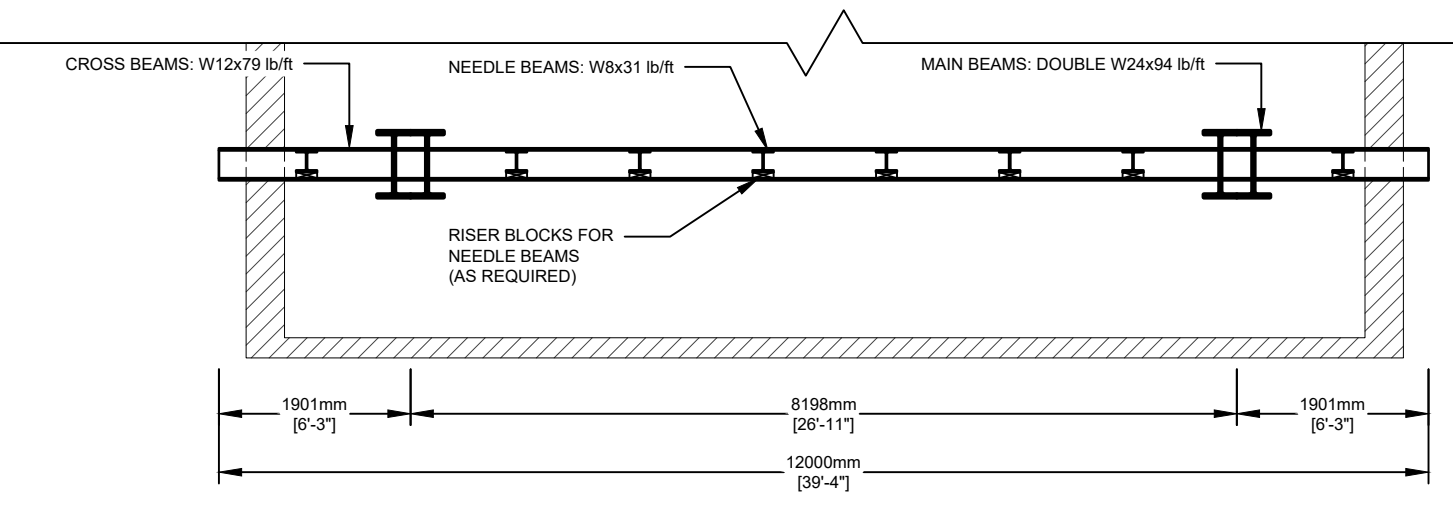
RELOCATION STEEL PLAN VIEW  
 SCALE: 1:75



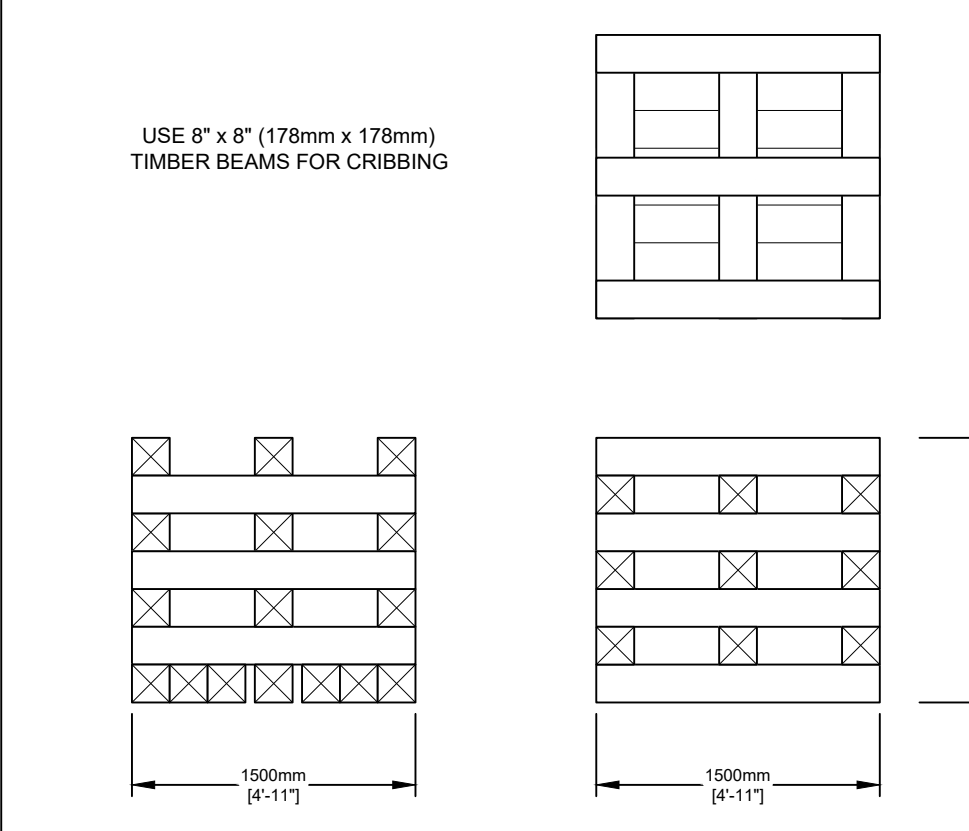
CRIBBING PLAN VIEW  
 SCALE: 1:75



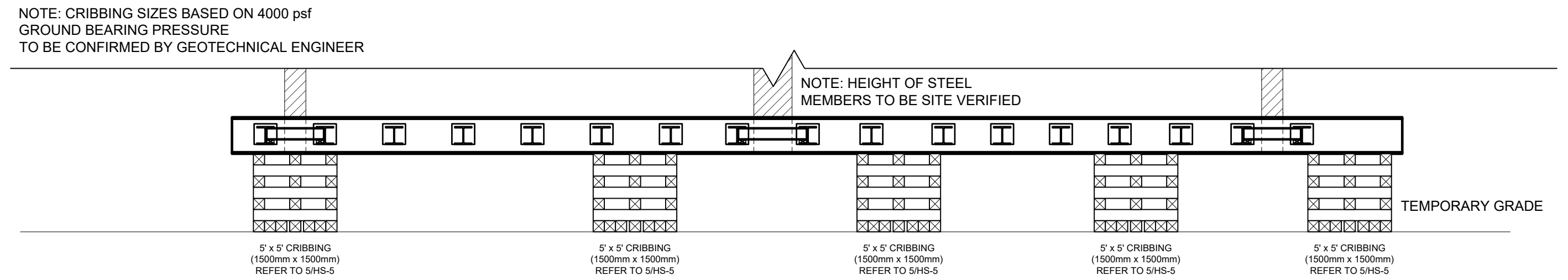
1/HS-5: EAST/WEST RELOCATION STEEL  
 SCALE: 1:75



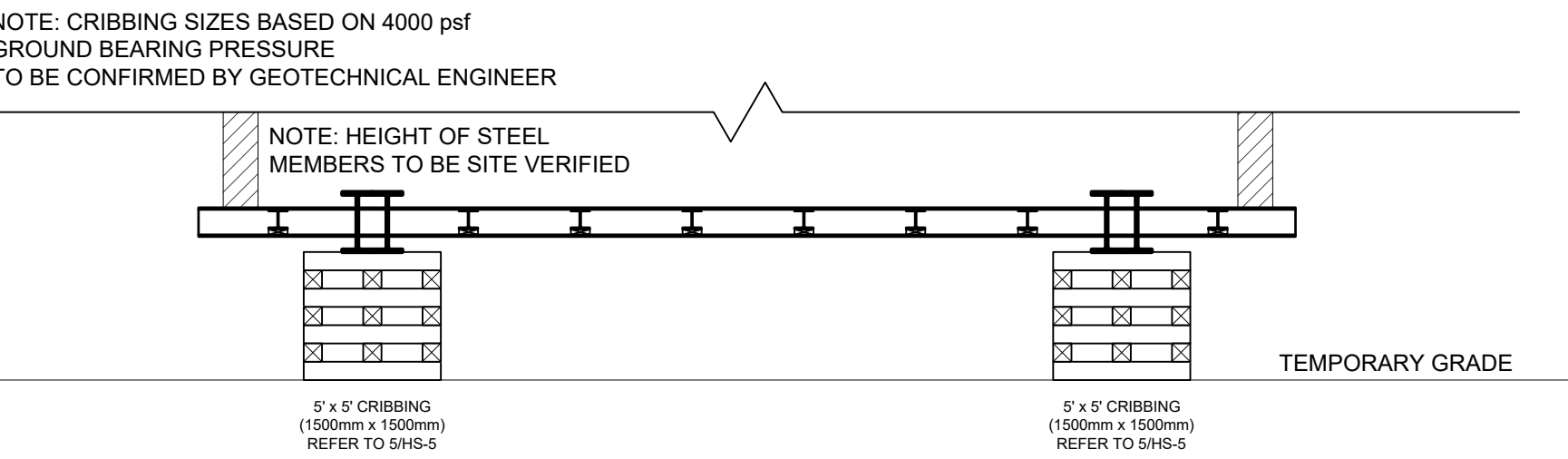
3/HS-5: NORTH/SOUTH RELOCATION STEEL  
 SCALE: 1:75



5/HS-5: 1500mm x 1500mm CRIBBING  
 SCALE: 1:40



2/HS-5: EAST/WEST CRIBBING  
 SCALE: 1:75



4/HS-5: NORTH/SOUTH CRIBBING  
 SCALE: 1:75



CHECKED BY: D.S.  
 DRAWN BY: T.M.  
 FIRM NO: 30361



PROJECT LOCATION:  
 62 MILL STREET  
 LUXBRIDGE, ONTARIO

PROJECT DESCRIPTION:  
 BUILDING RELOCATION

**Facet Group Inc.**  
 Heritage Building Consultants,  
 Engineering and Project Management  
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 Tel: 416-409-0772 | Fax: 647-349-2453  
 www.facetgroup.ca | nei@facetgroup.ca

David Seberas P. Eng.  
 SEBERAS PROFESSIONAL SERVICES LTD

DRAWING TITLE:  
 RELOCATION STEEL PLAN  
 CRIBBING PLAN  
 RELOCATION STEEL SECTIONS  
 CRIBBING SECTIONS  
 CRIBBING DETAILS

PROJECT NO: 202116  
 SCALE: AS NOTED  
 DRAWING NO: **HS-5**



# E - OUTLINE SPECIFICATIONS

Project Name: Gould Estate, 62 Mill St., Uxbridge  
Project Number 21013  
Month Year June 2021

**ARCHITECTURAL HERITAGE  
OUTLINE SPECIFICATIONS**  
Page 1 of 4

## DIVISION 01: GENERAL AND SUPPLEMENTARY CONDITIONS

### 01 35 91 HERITAGE CONSERVATION PROCEDURES

The intent is to preserve and repair the existing original building fabric described to remain. It is not the intent to replace any of the existing original building fabric, described to remain, with a new copy, however good the quality of the work. Make all repairs using materials and methods of fastening which match the originals as far as possible. Fabricate replacement parts to match the original profiles.

Provide samples of materials specified in trade sections on site for the Heritage Consultant's inspection and any other samples as may be requested.

Submit shop drawings for which submission is required in other sections of this specification.

## DIVISION 02: EXISTING CONDITIONS

### 02 42 91 HERITAGE SALVAGE AND DEMOLITION

Dismantle, salvage and store masonry elements as indicated on the drawings; Demolish and dispose of off site all elements not intended for reuse; Protect the heritage fabric from damage during dismantling process.

Salvage 100% of sound brick, stone and precast elements in areas identified on the drawings;

Salvage bricks from the exterior wythe only of the exterior elevations.

Salvage 3/4 bricks for use as headers in reconstructed facades.

Contractor to provide total number of salvaged elements to Heritage Architect.

## DIVISION 03: CONCRETE

Section not used.

## DIVISION 04: MASONRY

### 04 01 20.91 HERITAGE MASONRY RESTORATION

Sandstone: new or reclaimed stone to be of same stone type matching existing closely in colour, size, texture, finish, compressive strength, laid with same direction of stratification, and as approved by the Heritage Consultant.

Precast elements: new precast to match existing in colour, size, texture, finish, compressive strength, aggregate including grading, and as approved by the Heritage Consultant.

Brick: Exterior wythe: new bricks or sound salvaged bricks from existing buildings as indicated on the drawings and in Specification Section 02 42 91 Heritage Masonry Salvage and Demolition. Provide tinting of bricks if necessary to ensure colour match with existing.

Mortars and mixes for brick repointing and replacement generally: Type N 1:1:6 (1 white cement, 1 lime, 6 sand)

Epoxy resin adhesive: Sikadur 35 Hi-Mod LV by Sika Canada Inc. or approved equal.

For lime injection repairs: dispersed hydrated lime injection mortar DHL-IM by US Heritage Group, or approved equal.

Plastic Masonry Repair: Jahn M70 or approved equal.

Provide mock-ups on site.

- Pre-qualified sub-contractors for the masonry work of this Section include:
  - Colonial Restoration
  - Clifford Restoration.
  - Empire Restoration.
  - Heritage Restoration.
  - Historic Restoration.
  - Phoenix Restoration.
  - Trinity Custom Masonry.

#### 04 03 01.13 HERITAGE MASONRY CLEANING

Soiling Removal: Removal of underlying soiling on exterior masonry surfaces on the facades, as indicated on the drawings. The intent is to remove the existing soiling from the exterior masonry to achieve a natural homogeneous finish without damaging the surface or removing the overall patina of the masonry. Light soaking of masonry surfaces 24 hours prior to cleaning, to soften dirt deposits, and cleaning with medium-pressure water wash.

Paint Removal: Removal of paint on exterior masonry surfaces on the facades, as indicated on the drawings. The intent is to remove the existing paint from the exterior masonry to achieve a natural homogeneous finish without damaging the surface or removing the overall patina of the masonry. Acceptable products: "Peel-Away 7" (alkaline) Removal System and Methyl Hydrate neutralizer, Keim BioStripper System, or approved equal

#### DIVISION 05: METALS

Section not used.

#### DIVISION 06: WOOD, PLASTICS, & COMPOSITES

#### 06 40 00 HERITAGE FINISH CARPENTRY

Exterior wood finish moulding, solid wood Douglas Fir equivalent to No. 1 & 2 select, including but not limited to exterior paneling, stops, soffit, fascia, mouldings and trims as shown on drawings. Provide mock-ups on site.

#### DIVISION 07: THERMAL AND MOISTURE PROTECTION

#### 07 31 26 SLATE ROOF TILES

Rectangular slate shingles, with 3" headlap for installation on sloped roofs. Slate shall meet the requirements of Grade S1 per ASTM C-406-06.

- Pre-qualified sub-contractors for the masonry work of this Section include:
  - Heather and Little.

- o Roof Tile Managment.

**07 60 00 FLASHING AND SHEET METAL**

All sheet metal must be uniform in quality and temper, clean, smooth, commercially flat and straight and free from pinholes, dents creases or buckles or other defects.

Lead Coated Copper Flashings: Lead-coated sheet copper, 20 oz., coated both sides, to ASTM B101-1986, Type 1 or 2, Class B coating weight.

Painted Flashings: Classification LFQ, GGrade A, Z725 zinc coating designation, 0.60mm minimum base steel thickness, commercial quality. Colour as selected by Consultant.

**DIVISION 8: OPENINGS**

**08 03 30 CONSERVATION TREATMENT FOR PERIOD WINDOWS**

Repair original wood framed stained glass windows. Fabricate replacement parts to match existing in size, section and mould profile, as required. Remove stained glass panels off site for repair. Use as far as possible the original methods of fastening.

**08 52 00 WOOD WINDOWS**

Supply, delivery and installation of new wood windows. Frames: Solid Douglas fir, custom profile and size to match original profile and existing openings, shop painted, c/w double glazed units. Submit shop drawings for review.

**DIVISION 9: FINISHES**

**09 91 00 HERITAGE PAINTING**

Repainting of new and retained exterior wood elements including but not limited to exterior paneling, stops, soffit, fascia, mouldings and trims as shown on drawings. Prime bare wood with 1 coat Benjamin Moore "Fresh Start 023" 100% Acrylic All-Purpose Primer, or approved equal; finish with 2 coats Benjamin Moore "Aura" Exterior Semi- Gloss 632, or approved equal.

**09 97 23 CONCRETE AND MASONRY COATINGS**

Sol-silicate mineral stain solution used to color treat concrete surfaces to provide an opaque, color wash, or semi transparent finish. To be vapor permeable, and form a crystalline bond with the substrate.

**DIVISION 10: SPECIALITIES**

**10 14 00 SIGNAGE**

To be developed.

**DIVISION 11: EQUIPMENT**

Section not used.

**DIVISION 12: FURNISHINGS**

**122100 WINDOW BLINDS**

To be developed.

**DIVISION 13-25**

Sections not used.

DIVISION 26: ELECTRICAL

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265600 EXTERIOR LIGHTING  
To be developed.

DIVISION 27-48

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Sections not used.

End of Outline Specifications